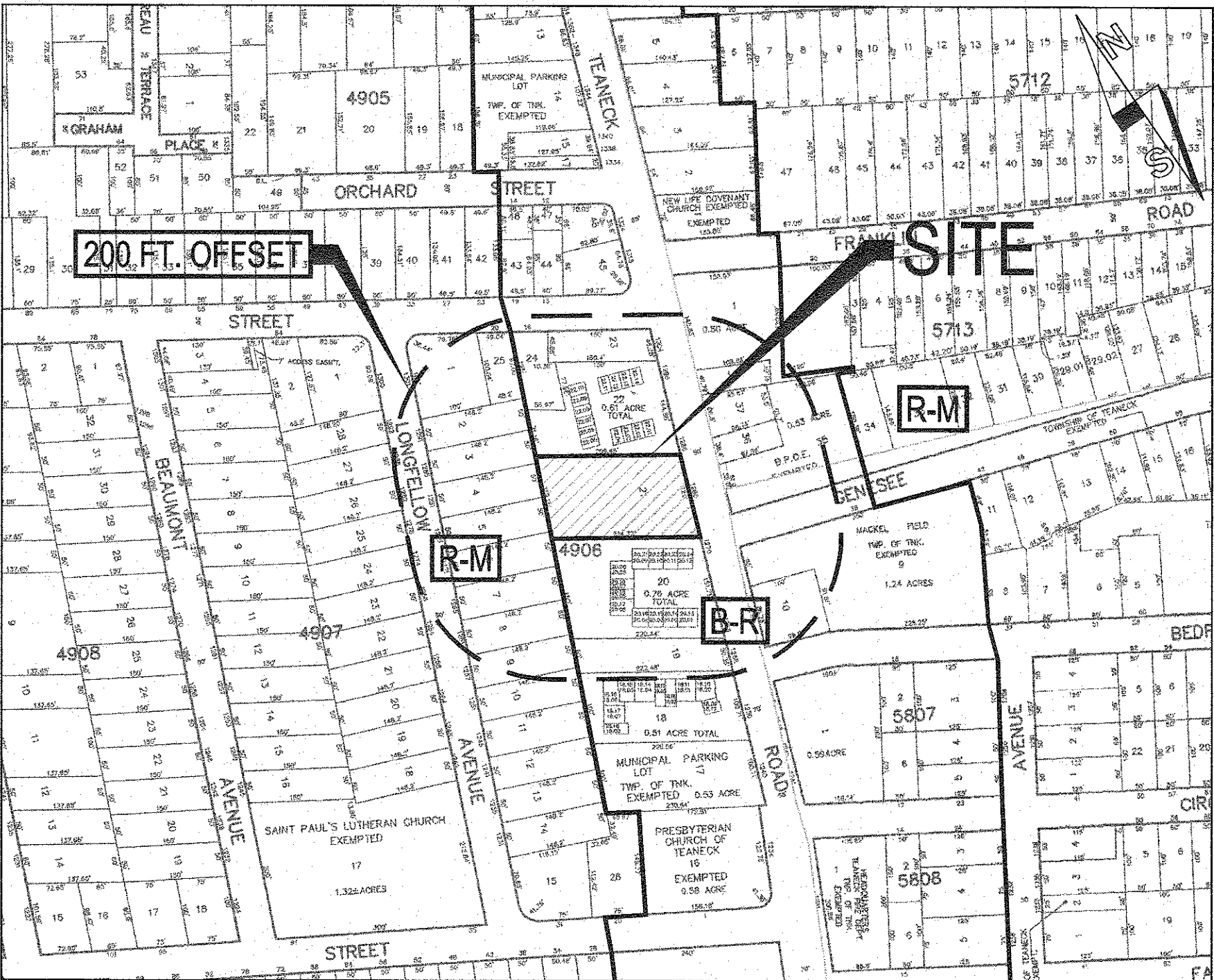


TEANECK RETAIL DEVELOPMENT

1280 TEANECK ROAD
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK, BERGEN COUNTY, NEW JERSEY
NOVEMBER 26, 2013 - REVISED: JULY 18, 2017

CONSTRUCTION NOTES

1. THE LOCATIONS OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES FOR THEIR EXACT LOCATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING THE EXISTING PAVEMENT MARKINGS.
3. TRENCHES OR AREAS EXCAVATED ARE TO BE BACK FILLED WITH SUITABLE MATERIAL AND TOPPED WITH QUARRY PROCESS STONE AT THE END OF EACH WORKING DAY AND PAVED AT THE END OF THE WORK WEEK. TRENCHES LEFT OPEN OVERNIGHT MUST BE BARRICADED WITH ADEQUATE LIGHTING.
4. THE 2007 NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED AND ADDED TO HEREIN, SHALL GOVERN IN THIS PROJECT..
5. ANY MATERIAL THAT MAY BE DISTURBED DURING THE REMOVAL AND REPLACEMENT TO EXISTING CURBING AND SIDEWALKS, MUST BE RETURNED TO ITS ORIGINAL CONDITION.
6. THE AREAS EXCAVATED AROUND INLETS MUST BE BACKFILLED WITH STONE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAPERING PROPOSED WORK TO MEET EXISTING CONDITIONS IN A UNIFORM MANNER.
8. MILLED ASPHALT SHALL BE TRANSPORTED TO AN APPROVED RECYCLING CENTER AND THE TONNAGE CERTIFIED EACH INDIVIDUAL MUNICIPALITY.
9. TOPSOILING & SODDING, WILL BE PLACED IN THE AREAS DISTURBED DURING CONSTRUCTION AND / OR AS DIRECTED BY THE ENGINEER.
10. THE CONTRACTOR IS RESPONSIBLE FOR LEVELING THE ROADWAY WITH MIX 1-5, PRIOR TO THE FINAL SURFACE COURSE. THE ROADWAYS WILL NOT BE LEVELED DURING THE FINAL SURFACE COURSE.
11. ALL TRAFFIC STRIPING MUST CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. THE CONTRACTOR SHALL RECEIVE ALL THE NECESSARY APPROVALS FROM THE NJDOT PRIOR TO ANY CONSTRUCTION DONE TO LOOP DETECTORS.
13. THE CONTRACTOR SHALL RECEIVE ALL THE NECESSARY APPROVALS FROM ALL LOCAL, COUNTY, AND STATE GOVERNING AGENCIES, PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS SERVICE DURING EXCAVATION.
15. ALL INLET CONSTRUCTION SHALL INCLUDE THE INSTALLATION OF BICYCLE SAFE GRATES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
16. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT THE TREES WHICH ARE IN CLOSE PROXIMITY TO THE WORK, AND ARE NOT TO BE REMOVED.
17. SITUATIONS WHERE THE PROPOSED WATER SERVICE CONFLICTS WITH OTHER UTILITIES, THE CONTRACTOR WILL BE DIRECTED BY THE ENGINEER TO LOOP OVER OR UNDER THE UTILITY AS THE CASE MAY BE. IN ADDITION, THE CONTRACTOR SHALL CONTACT THE OWNER, CITY ENGINEER, AND UTILITY COMPANIES TO ARRANGE FOR PROPER REMOVAL, RELOCATION, AND / OR REPAIRS OF ANY UNDERGROUND OR ABOVE GROUND UTILITIES AND OTHER SERVICES, WHICH MAY INTERFERE THROUGHOUT THE COURSE OF CONSTRUCTION.
18. THE CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICE CONNECTIONS.
19. ALL EXISTING UTILITIES TO BE ABANDONED, SHALL BE PLUGGED AT BOTH ENDS.
20. CONCRETE SUPPORT BLOCKS SHALL BE CONSTRUCTED AT ANY CROSSING WHERE THE SEPARATION BETWEEN THE UTILITIES IS LESS THAN EIGHTEEN (18) INCHES OR AS DIRECTED BY THE ENGINEER. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAIL AS SHOWN HEREIN.
21. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE WATER DEPARTMENT TO HAVE WATER VALVE BOXES RESET.
22. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE GAS COMPANY TO HAVE GAS VALVE BOXES RESET.
23. THE CONTRACTOR SHALL INSTALL PROTECTIVE BLOCKING, BRACING OR SHEETING TO SUPPORT ANY EXPOSED GAS UTILITIES IN ACCORDANCE WITH RESPECTIVE GAS COMPANY REGULATIONS.
24. THE CONTRACTOR SHALL DIG TEST PITS AT ALL CROSSINGS TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
25. TELEPHONE, ELECTRIC, GAS, AND CABLE LINES AND STRUCTURE LOCATIONS SHOWN ON THE PLANS ARE TENTATIVE AND MAY CHANGE PER UTILITY COMPANY DIRECTION. THE CONTRACTOR SHALL COORDINATE FINAL LOCATIONS AND INSTALLATION REQUIREMENTS WITH THE APPLICABLE UTILITY COMPANIES.
26. THRUST BLOCKS SHALL BE INSTALLED FOR PROPOSED WATER LINES AND SHALL BE PROVIDED AT ALL TEES, ELBOWS, BENDS, AND PLUGS. IN ADDITION, WATER SERVICE LINES SHALL BE SEPARATED FROM SANITARY SEWERS AND STORMWATER CONVEYANCE LINES BY EITHER 10 FEET HORIZONTALLY (MINIMUM) OR 1.5 FEET VERTICALLY (MINIMUM). IF THIS SEPARATION CAN NOT BE PROVIDED THE WATER LINE SHALL BE ENCASED IN CONCRETE AS PER THE WATER COMPANY SPECIFICATIONS.
27. TRENCH DEPTHS FOR ALL UTILITIES SHALL MEET THE MINIMUM REQUIREMENT OF THE DEPTH SPECIFIED BY THE GOVERNING UTILITY COMPANY OR AUTHORITY. IF DEPTHS TO TOP OF UTILITIES DUE TO PROPOSED GRADING DO NOT MEET GOVERNING UTILITY COMPANY/AUTHORITY DEPTH REQUIREMENT, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE THE UTILITY.
28. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY ANY ADDITIONAL SOIL EROSION & SEDIMENT CONTROL MEASURES AS REQUESTED BY THE GOVERNING SOIL CONSERVATION DISTRICT.
29. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL EXISTING UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINT.
30. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT PERCOLATION TESTS AND COLLECT SOIL SAMPLES WITHIN THE FOOTPRINT OF STORMWATER MANAGEMENT SYSTEMS LOCATION AT THE ELEVATION OF THE PROPOSED SYSTEM BASE PRIOR TO INSTALLATION. THE SAMPLES SHALL BE COLLECTED AND THE PERCOLATION TESTS SHALL BE PERFORMED BY A N.J. LICENSED PROFESSIONAL ENGINEER. THE SAMPLES SHALL BE FORWARDED TO A LICENSED LABORATORY TO CONDUCT SOIL GRAIN SIZE TESTS ON EACH SAMPLE. THE RESULTS OF BOTH THE PERCOLATION TESTS AND SOIL SAMPLE GRAIN SIZE TESTS SHALL BE FORWARDED TO THE PROJECT ENGINEER IN ORDER TO INCORPORATE THE RESULTS IN THE DESIGN.



KEY MAP (N.T.S.)
SOURCE: REF. TAX MAPS 49, 57, 58 OF THE TOWNSHIP OF TEANECK



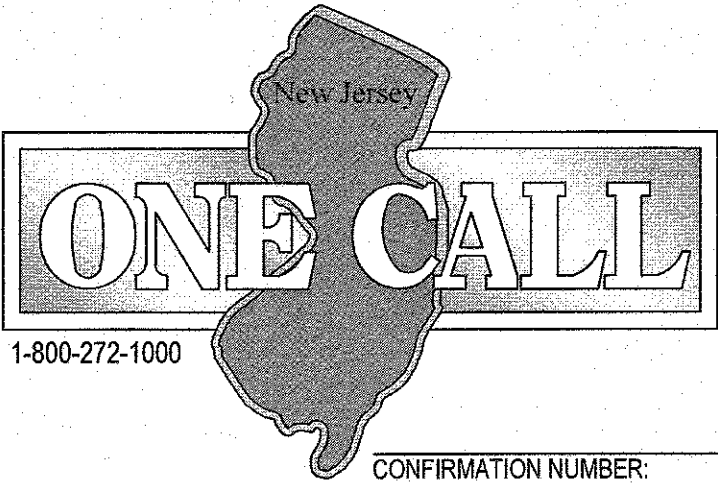
KEY MAP (N.T.S.)
SOURCE: REF. GOOGLE MAPS

TOWNSHIP OF TEANECK	
APPROVED BY THE PLANNING BOARD/ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF TEANECK, N.J.	
DATE:	CHAIRPERSON:
SECRETARY:	
IT IS HEREBY CERTIFIED THAT THIS SITE PLAN MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.	
DATE:	TOWNSHIP ENGINEER:
DATE:	CONSTRUCTION OFFICIAL:
IT IS HEREBY CERTIFIED THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH MUNICIPAL ORDINANCES.	
DATE:	CONSTRUCTION OFFICIAL:
DATE:	TOWNSHIP ENGINEER:
CERTIFICATE OF COMPLETENESS	
THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.	
DATE:	TOWNSHIP ENGINEER:

LIST OF DRAWINGS		
DRAWING NO.	DRAWING TITLE	DRAWING SCALE
1.00	COVER SHEET	N.T.S.
2.00	DEMOLITION PLAN	1" = 20'
3.00	SOIL EROSION & SEDIMENT CONTROL PLAN	1" = 20'
4.00	SITE PLAN	1" = 20'
4.10	VEHICLE CIRCULATION PLAN	1" = 20'
4.11	AERIAL FIRE TRUCK CIRCULATION PLAN	1" = 20'
5.00	GRADING AND DRAINAGE PLAN	1" = 20'
6.00	UTILITY PLAN	1" = 20'
7.00	LANDSCAPING AND LIGHTING PLAN	1" = 20'
8.00	CONSTRUCTION DETAILS	N.T.S.
8.01	CONSTRUCTION DETAILS	N.T.S.
8.02	CONSTRUCTION DETAILS	N.T.S.
8.03	CONSTRUCTION DETAILS	N.T.S.
8.04	CONSTRUCTION DETAILS	N.T.S.
8.05	CONSTRUCTION DETAILS	N.T.S.
8.06	CONSTRUCTION DETAILS	N.T.S.
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY	N.T.S.

REVISIONS				
NO.	DATE	DESCRIPTION	DRAWN	CHECKED
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN CITY.	EMJ	EMJ

DAVID JUZMESKI, P.E., P.P. PROFESSIONAL ENGINEER N.J. LICENSE NO. 4951	EVAN M. JACOBS, P.E. PROFESSIONAL ENGINEER N.J. LICENSE NO. 4948
2 MJ 03/18/17	

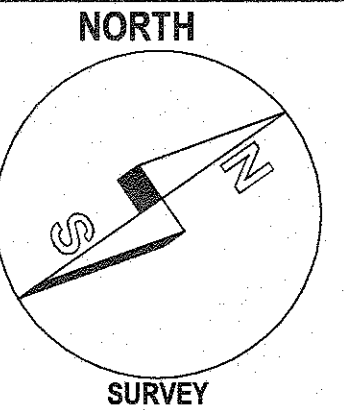


CONFIRMATION NUMBER:

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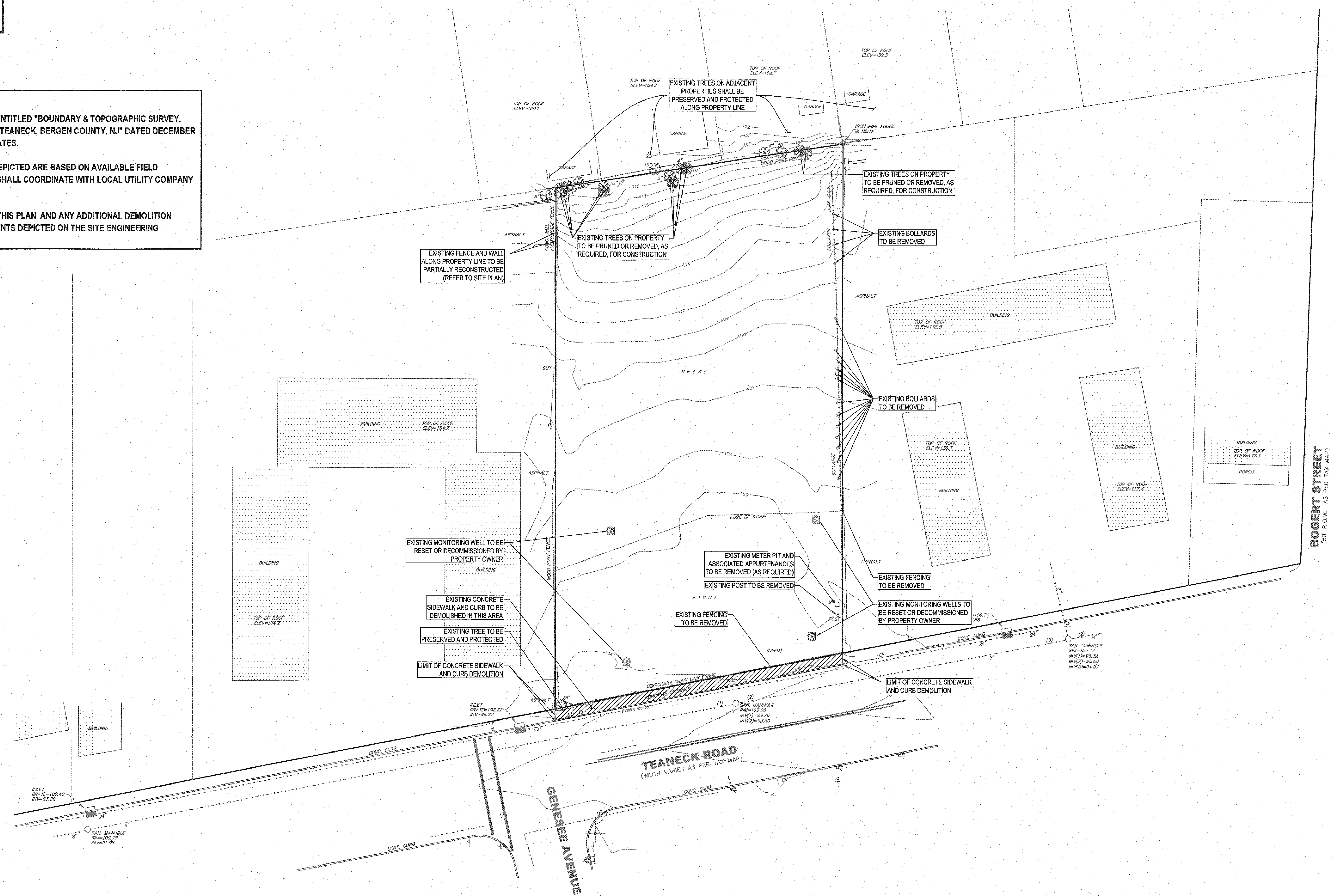
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LYNDHURST
FAX: 201-939-0846
NEW JERSEY
nea@negliaengineering.com
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PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 38954
PROFESSIONAL PLANNER
N.J. LICENSE NO. 6899

COVER SHEET / KEY MAP
1280 TEANECK ROAD
TEANECK RETAIL DEVELOPMENT
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK
BERGEN COUNTY
PROJECT NO: **TEANPRV12.011**
NEW JERSEY
SHEET NO: **1.00**



NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, N.J" DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.
2. UNDERGROUND UTILITIES AND EXISTING FEATURES AS DEPICTED ARE BASED ON AVAILABLE FIELD EVIDENCE FOR APPROXIMATE LOCATION. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.
3. DEMOLITION WORK SHALL INCLUDE ITEMS DENOTED ON THIS PLAN AND ANY ADDITIONAL DEMOLITION WORK NECESSARY TO CONSTRUCT THE SITE IMPROVEMENTS DEPICTED ON THE SITE ENGINEERING DRAWINGS.



**APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY**

ATTESTED TO BY: DATE:

TITLE:

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		REVISIONS			
NOL.	DATE	DESCRIPTION	DRAWN	DESIGNED	CHECKED
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC	DJ
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ	DJ

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 N.J. LICENSE NO. 43751 N.J. LICENSE NO. 8134

EVAN M. JACOBS, P.E.
PROFESSIONAL ENGINEER
N.J. Lic#006879 Exp. 06/2008

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FAX: 201-339-0846

NEW JERSEY
E-MAIL: NEA@NEGLIAENGINEERING.COM

MICHAEL J. NEGLIA, P.E., P.L.S., P.P.

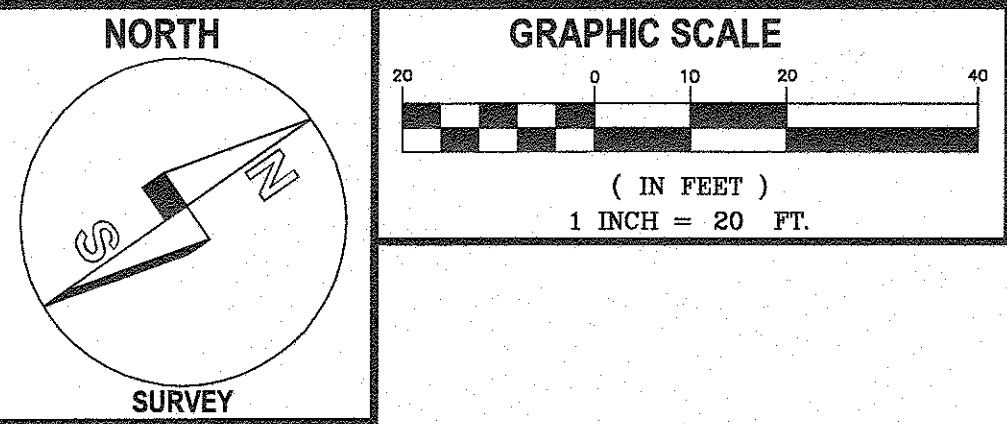
PROFESSIONAL ENGINEER
NJ LICENSE NO. 12058

PROFESSIONAL LAND SURVEYOR
NJ LICENSE NO. 2054

PROFESSIONAL PLANNER

<h2 style="margin: 0;">DEMOLITION PLAN</h2> <h3 style="margin: 0;">1280 TEANECK ROAD</h3> <h3 style="margin: 0;">TEANECK RETAIL DEVELOPMENT</h3> <h3 style="margin: 0;">TOWNSHIP OF TEANECK</h3>			
BERGEN COUNTY		NEW JERSEY	
DRAWN BY:	E.M.J. / J.L.	CHECKED BY:	D.J.
DESIGNED BY:	E.M.J. / J.L.	SCALE:	1" = 20'
FIELD BOOK NO.:		PAGE:	
		PROJECT NO.:	SHEET NO.:
		TEANPRV12.011	2.00
		DATE:	NOVEMBER 26, 2013

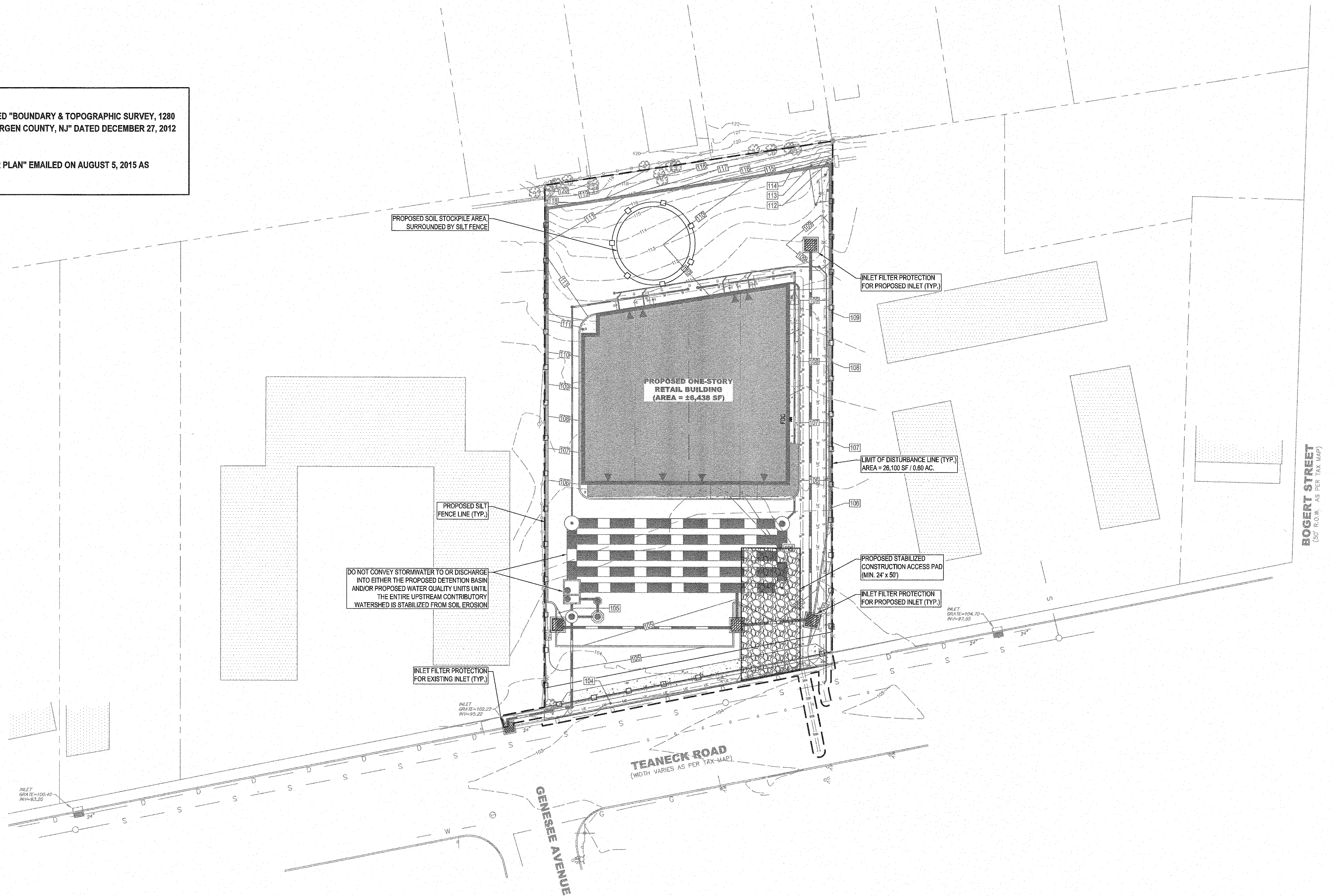
M:\TEANECK\TEAMPRV\2.011 (1280 TEANECK RD)\CAD\FINAL\2.00-DEMOLITION PLAN.DWG PLOTTED: 07/18/17



NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, NJ" DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.

2. SITE LAYOUT PER EMAILED FILE ENTITLED "8-5-2015 1280 FLOOR PLAN" EMAILED ON AUGUST 5, 2015 AS PROVIDED BY MARIOS LACHANARIS.



**APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY**

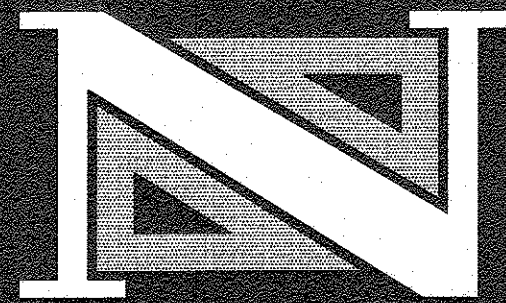
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CERTIFICATE OF AUTHORIZATION (N.J.S.A. 45:8-56) GA 276890

REVISIONS				DRAWN	DESIGNED	CHECKED
NO.	DATE	DESCRIPTION				
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES		DC	DC	DJ
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY		EMJ	EMJ	DJ



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EMJ
07/18/17

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N.J. LICENSE NO. 3309989900

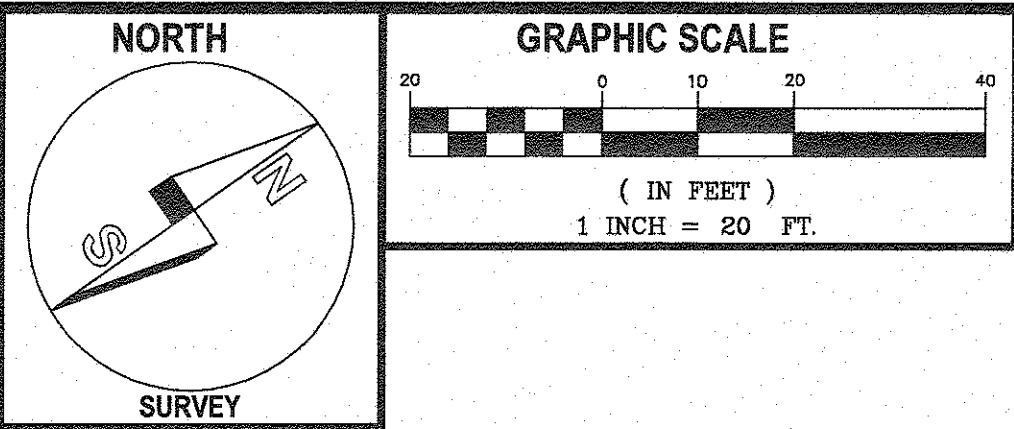
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SOIL EROSION AND SEDIMENT CONTROL PLAN
1280 TEANECK ROAD
TEANECK RETAIL DEVELOPMENT
TOWNSHIP OF TEANECK
BERGEN COUNTY
NEW JERSEY

DRAWN BY: E.M.J./J.L. CHECKED BY: D.J. PROJECT NO.: TEANPRV12.011 SHEET NO.: 3.00
DESIGNED BY: E.M.J./J.L. SCALE: 1" = 20' DATE: NOVEMBER 16, 2013
FIELD BOOK NO.: PAGE: DATE:

1280 TEANECK ROAD/CA/PA/LS/SOIL EROSION/SEDIMENT CONTROL.DWG PLOTTED: 07/18/17



PROJECT & BERGEN COUNTY NOTES:

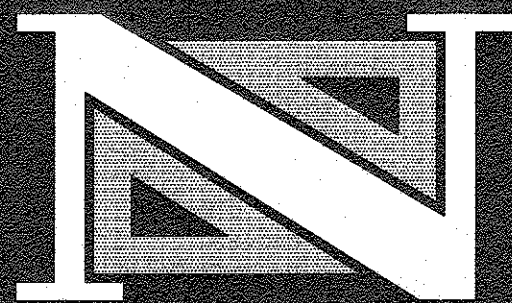
- 1) TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED 'BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, NJ' DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.
- 2) ALL ON-SITE TRAFFIC CONTROL PAVEMENT MARKINGS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND NOT THE COUNTY OF BERGEN.
- 3) ALL EXISTING OR PROPOSED SIDEWALKS (INCLUDING THOSE CROSSING DRIVEWAYS), CURBING AND HANDICAP RAMPS SHALL BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA, WWW.ACCESS-BOARD.GOV/PROWAC/NPRM). PURSUANT TO N.J.S.A. 27-17.8, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURB LINES OR EDGES OF PAVEMENT. THE COUNTY NEVER-THE-LESS RETAINS THE JURISDICTIONAL AUTHORITY TO ENFORCE THE ADA REQUIREMENTS.
- 4) THE OWNER UNDERSTANDS THAT THE COUNTY RESERVES THE RIGHT TO IMPOSE LEFT TURN PROHIBITIONS AT A FUTURE DATE IF DEEMED NECESSARY TO ENSURE THE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC ALONG RIVER ROAD.
- 5) ANY PROPOSED PLANTINGS ALONG THE ACCESS DRIVEWAYS SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- 6) THE SURVEYED CENTERLINE OF THE RIGHT-OF-WAY OF RIVER ROAD IS PROVIDED ON THE SITE PLANS.
- 7) THE SITE LINES COMING OUT OF THE DRIVEWAY(S) MEET COUNTY SITE DISTANCE CRITERIA BASED ON THE DRIVER'S POSITION BEING TEN (10) FEET BEHIND THE EDGE-OF-PAVEMENT. THE DRIVER'S EYE LEVEL WILL BE THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER WILL BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. THE REQUIRED SIGHT LINE MINIMUM DISTANCE WAS DETERMINED BY THE POSTED SPEED LIMIT.
- 8) ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE NJDOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL, GUIDE RAIL END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES, CULVERTS AND ROADWAY CONSTRUCTION, OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECTS APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- 9) ALL PAVEMENT MARKINGS/STRIPING RELATED TO TRAFFIC CONTROL, SHALL BE OF REFLECTIVE LONG-LIFE THERMOPLASTIC MATERIAL, MINIMUM 90 MIL. THICKNESS, APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- 10) ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.
- 11) ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG RIVER ROAD.
- 12) ALL TRAFFIC CONTROL SIGNS INSTALLED BY THE APPLICANT SHALL BE MAINTAINED BY THE PROPERTY OWNER AND NOT THE COUNTY.
- 13) CONCRETE MONUMENTS/MARKERS SHALL BE INSTALLED FOR THE EXISTING PROPERTY CORNERS ALONG THE RIGHT-OF-WAY LINE OF TEANECK ROAD.
- 14) CONTRACTOR SHALL CONTACT MR. GARY HEMMER, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201)-336-6816 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- 15) ALL SIDEWALKS WITHIN THE COUNTY RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL HAVE A MAXIMUM SLOPE OF TWO (2%) PERCENT.
- 16) RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS, REMOVAL OR RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- 17) ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG THE COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- 18) THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43). A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- 19) PROPOSED BUILDING LAYOUT INFORMATION PROVIDED ELECTRONICALLY BY MARIOS LACHANARIS, ARCHITECT, LLC, ON MAY 5, 2017.

APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: DATE:

TITLE:

REVISIONS				
NO.	DATE	DESCRIPTION	DRAWN	CHECKED
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ



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NEW JERSEY
E-MAIL: NE@NEGLIAENGINEERING.COM

PROFESSIONAL PLANNER
N.J. LICENSE NO. 3809890

SITE PLAN				
1280 TEANECK ROAD				
TEANECK RETAIL DEVELOPMENT				
TOWNSHIP OF TEANECK				
BERGEN COUNTY			NEW JERSEY	
DRAWN BY:	E.M.J./J.L.	CHECKED BY:	D.J.	PROJECT NO.:
DESIGNED BY:	E.M.J./J.L.	SCALE:	1" = 20'	TEANPRV12.011
FIELD BOOK NO.:		PAGE:		DATE:
				NOVEMBER 26, 2013

1280 TEANECK ROAD RETAIL DEVELOPMENT OF EXISTING LOT 21 IN BLOCK 4906 ⁽¹⁾		
ZONING TABLE - B-R Special Business - Residential District - ALL DATA PER TEANECK TOWNSHIP ORDINANCE		
ITEM	B-R ZONE - REQUIRED/ALLOWABLE	PROPOSED
Permitted Use	Retail sales of goods and services	Retail sales of goods and services
Minimum Lot Size (acres)	None	0.572 acres (24,944 sq)
Minimum Lot Width (ft)	None	117.72 ft
Minimum Lot Frontage (ft)	N/A	120.00 ft
Minimum Front Yard Setback (ft)	27.5 feet (2)	70.63 ft to building (65.73 ft to Canopy)
Minimum Side Yard Setback (ft)	None	15.00 ft
Minimum Rear Yard Setback (ft)	20.00	54.01 ft
Buffer from Abutting Residential	25 ft ⁽²⁾	15 ft ⁽²⁾ (V)
Maximum Building Height (stories-ft)	2 stories - 24 feet	1 story - 22.0 feet
Maximum Building Coverage (%)	25% ⁽²⁾	27.5% ⁽²⁾ (includes Canopy)
Maximum Lot Coverage (%)	80% ⁽²⁾	88.1% ⁽²⁾
Parking Spaces	1 space per 200 SF GFA (6,438 SF GFA) / (200 SF) = 32 spaces ⁽²⁾	28 spaces (26 + 2 ADA Spaces) (V)
Parking Space Size (ft)	9 ft x 18 ft	9 ft x 18 ft
Access Driveways	No more than two per 300 ft frontage	One access driveway
Maximum Access Driveway Width (ft)	25 feet	24.00 ft
Maximum Access Driveway Curb Cut Width (ft)	30 feet	34.00 ft ⁽²⁾ (V)
Minimum Distance Between Driveways (ft)	25 ft	N/A
Maximum Combined Wall and Fence Height (ft)	6 feet per 12 feet of horizontal distance from a property line	8.67 ft. Wall + 4.00 ft. Fence = 12.67 ft. (EQ) (V)
Maximum Wall Height (ft)	5 ft (6 ft height per 12 ft of Setback)	8.67 ft. (EQ) (V)
Number of Business Signs	1 per occupant	1 per occupant
Wall Mounted Sign Area (sq)	1.5 sq ft per foot of lot frontage (120 ft) * (1.5 sq ft) = 180 sq	65 sq
Sign Amount (unit)	0 freestanding signs	1 freestanding sign @ 57 sq ft (V)
Loading Space	Under 10,000 sq-ft - 1 loading space required	No loading spaces provided (V)

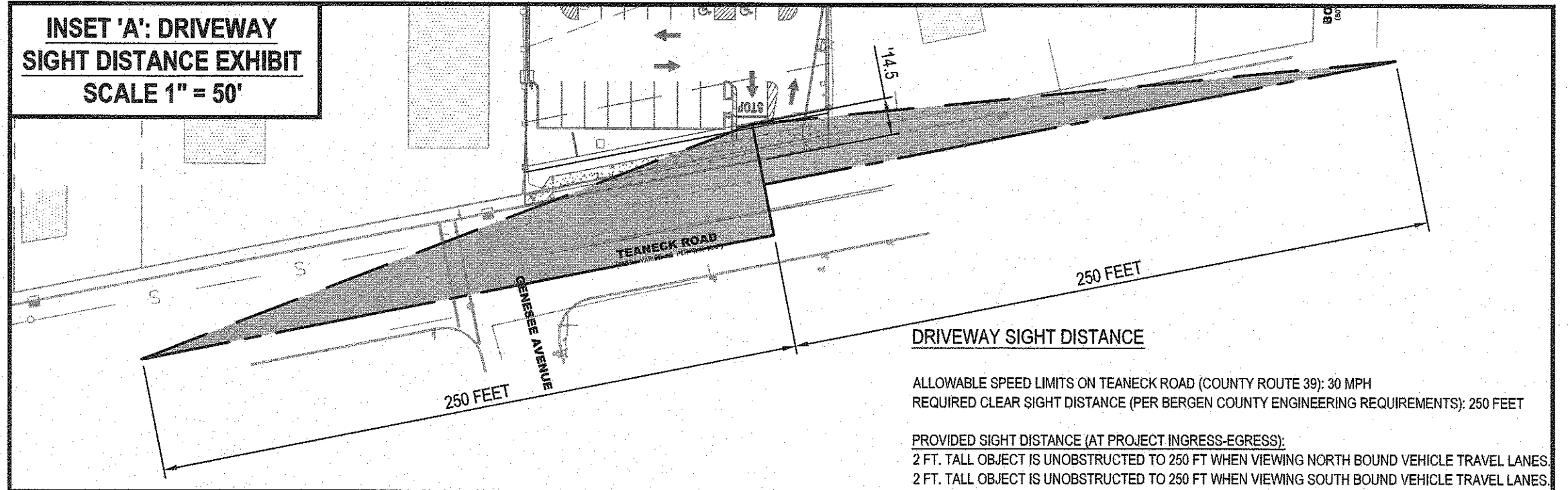
NOTES:
EQ = DENOTES EXISTING NON-CONFORMING CONDITIONS.
(V) = VARIANCE REQUIRED

1. BUILDING/ARCHITECTURAL INFORMATION SHOWN HEREON PROVIDED BY MARIOS LACHANARIS, ARCHITECT, LLC., DATED MARCH 5, 2016, LAST REVISED MAY 4, 2017.
2. FRONT YARD SETBACK BASED ON AVERAGE EXISTING SETBACKS ALONG THE SAME SIDE OF THE ROAD (TEANECK RD.) BETWEEN THE NEAREST INTERSECTIONS (CHURCH ST. AND BOGERT ST.).
3. 25% UNLESS OFF-STREET PARKING IS NOT REQUIRED UNDER §33-28(b)(1), IN WHICH CASE MAXIMUM BUILDING COVERAGE SHALL BE 80%. MAXIMUM LOT COVERAGE SHALL BE 100%.
4. BASED ON ONE (1) SPACE PER 200 SQUARE FEET GROSS FLOOR AREA FOR 6,438 SQUARE FEET (EXCLUDING CANOPY).
5. IF 25 FEET IS NOT AVAILABLE, ERECT A 6-FOOT-HIGH PRIVACY FENCE OR EQUIVALENT DENSE EVERGREEN PLANTING, A MINIMUM OF 6 FEET IN HEIGHT WITHIN THE BUFFER AREA AND AT A POINT PARALLEL TO THE LOT LINE OF THE ABUTTING LOT, AND AT A DISTANCE APPROPRIATE FOR THE LANDSCAPE TREATMENT IN THE BUFFER AREA.
6. THE OWNER/APPLICANT RECEIVED A COMMENT LETTER FROM ERIC V. TINSACK, SUPERVISING PLANNER OF THE COUNTY OF BERGEN DEPARTMENT OF PLANNING AND ENGINEERING, DATED MARCH 21, 2017, INDICATING THAT THE MINIMUM DRIVEWAY CURB-CUT WIDTH SHALL BE WIDENED TO THIRTY-FOUR (34) FEET; AS SUCH, A VARIANCE IS REQUIRED.

ACREAGE	IMPERVIOUS AREA
24,944 SQ. FT. OR 0.572 ACRES	EX: 0.17 ACRES (APPRX. 7,405 SF - GRAVEL)
APPLICANT/OWNER	PR: 0.51 ACRES (APPRX. 22,168 SF)
GRANITE 1280, LLC.	NET: 0.34 ACRES (APPRX. 14,763 SF)
MR. ELAD SHAULOV	
23 DOWNEY DRIVE	
TENAFLY, NJ 07670	

NOTES:

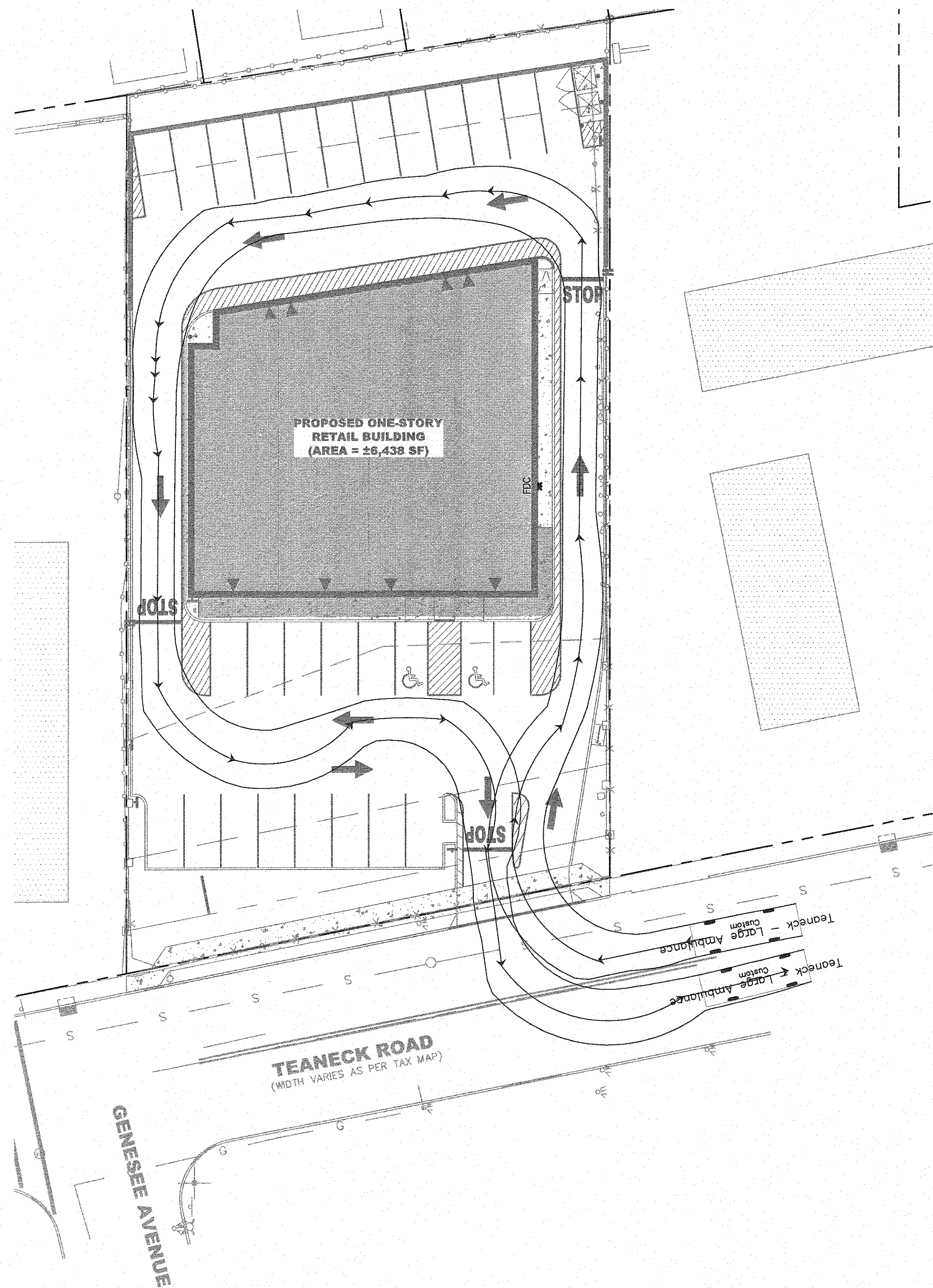
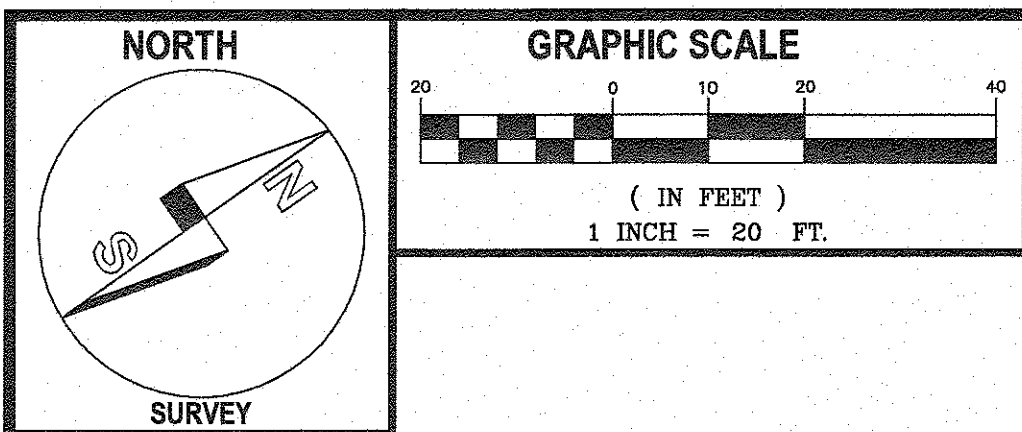
1. VERTICAL DATUM BASED ON NAVD'88 AND ESTABLISHED BY RAPID STATIC GPS OBSERVATIONS USING COR STATION NJ12. HORIZONTAL DATUM BASED ON NAD'83.
2. COUNTY SITE DISTANCE CRITERIA - DRIVER'S POSITION SHALL BE TEN (10) FEET BEHIND THE EDGE OF PAVEMENT. THE DRIVER'S EYE LEVEL SHALL BE THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. THE REQUIRED SIGHT LINE MINIMUM DISTANCE IS DETERMINED BY THE POSTED SPEED LIMIT.



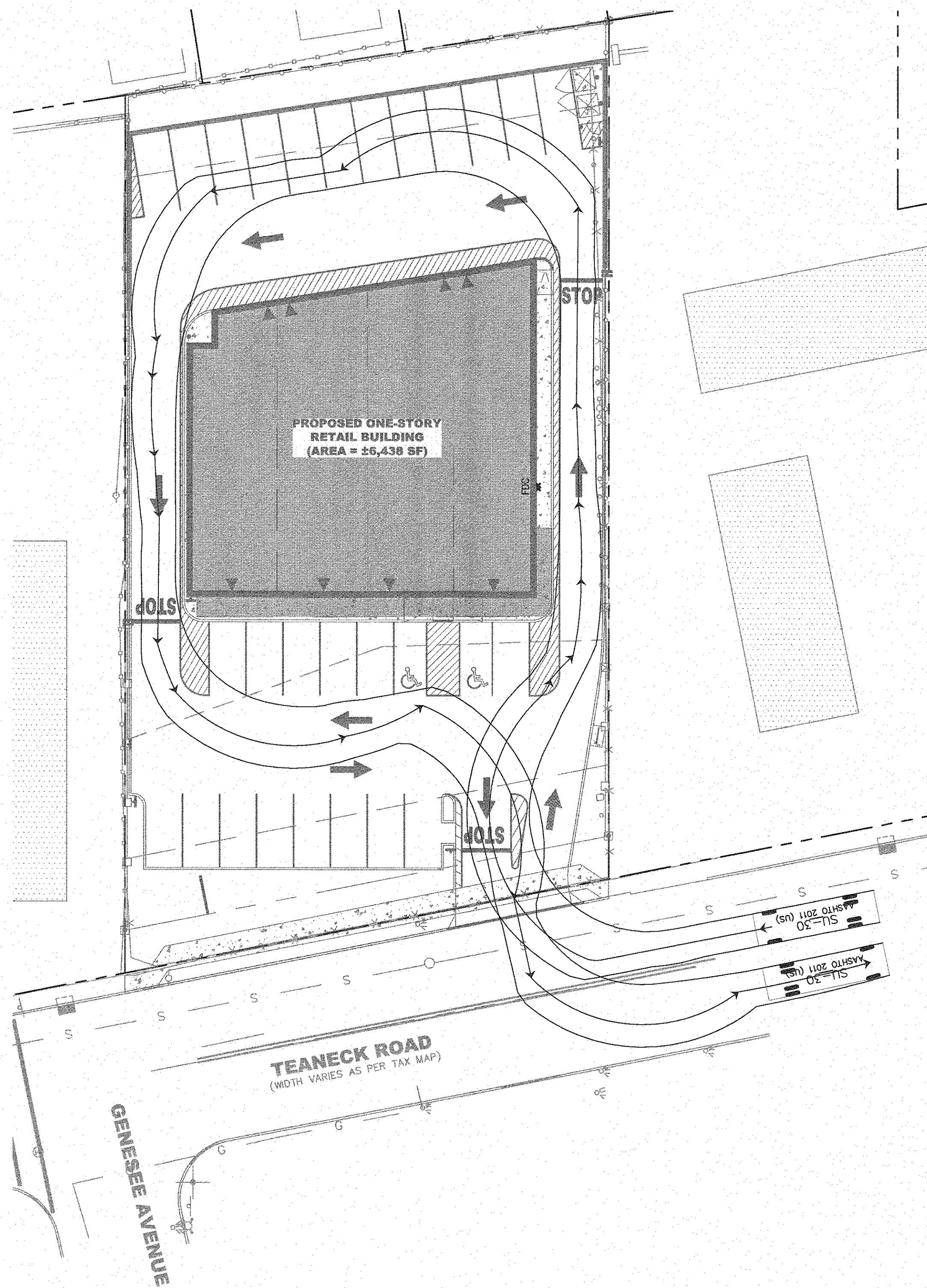
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1280 TEANECK ROAD SITE PLAN AND ASSOCIATED DOCUMENTS 07/18/17



**INSET 'A': VEHICLE CIRCULATION PLAN
(TEANECK LARGE AMBULANCE)
SCALE: 1" = 20'**



**INSET 'B': VEHICLE CIRCULATION PLAN
(SU-30 BOX TRUCK / GARBAGE TRUCK)
SCALE: 1" = 20'**

NOT TO SCALE

Teaneck - Large Ambulance

Width : 8.00 feet
Track : 7.75 feet
Lock to Lock Time : 6.0
Steering Angle : 48.1

NOTE:
1. DIMENSIONS OF TOWNSHIP OF TEANECK'S LARGEST AMBULANCE WERE PROVIDED BY A REPRESENTATIVE OF THE TEANECK VOLUNTEER AMBULANCE CORPS, FOR THE 2005 FREIGHTLINER M2 AMBULANCE.

TEANECK LARGE AMBULANCE DESIGN VEHICLE

NOT TO SCALE

SU-30

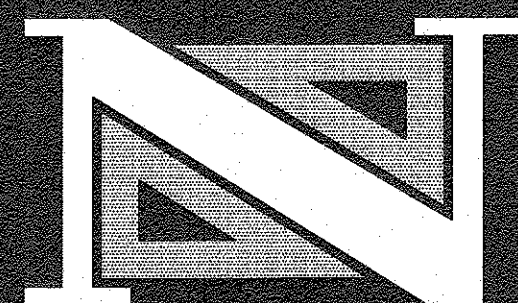
Width : 8.00 feet
Track : 8.00 feet
Lock to Lock Time : 6.0
Steering Angle : 31.8

NOTES:
1. THE SU-30 BOX TRUCK IS THE ANTICIPATED DELIVERY VEHICLE FOR THE PROPOSED RETAIL USE.
2. THE ANTICIPATED PRIVATELY-HIRED GARBAGE TRUCK THAT WILL SERVE THE SITE IS APPROXIMATELY THE SIZE OF AN AASHTO SU-30 DESIGN VEHICLE.
3. GARBAGE COLLECTION WILL OCCUR BEFORE HOURS FOR THE RETAIL USES.

AASHTO SU-30 BOX TRUCK AND GARBAGE TRUCK DESIGN VEHICLE

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E.M.J.
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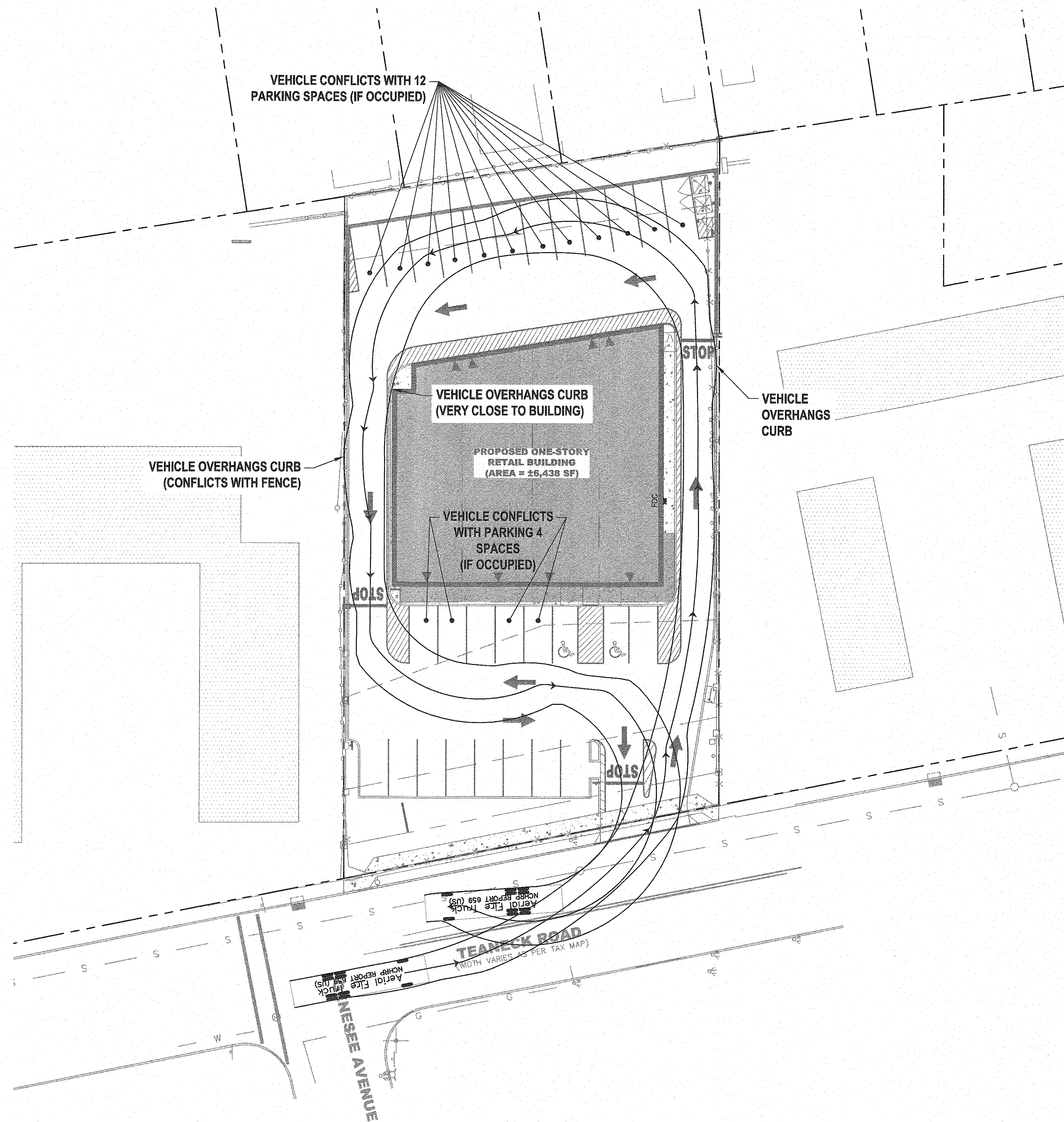
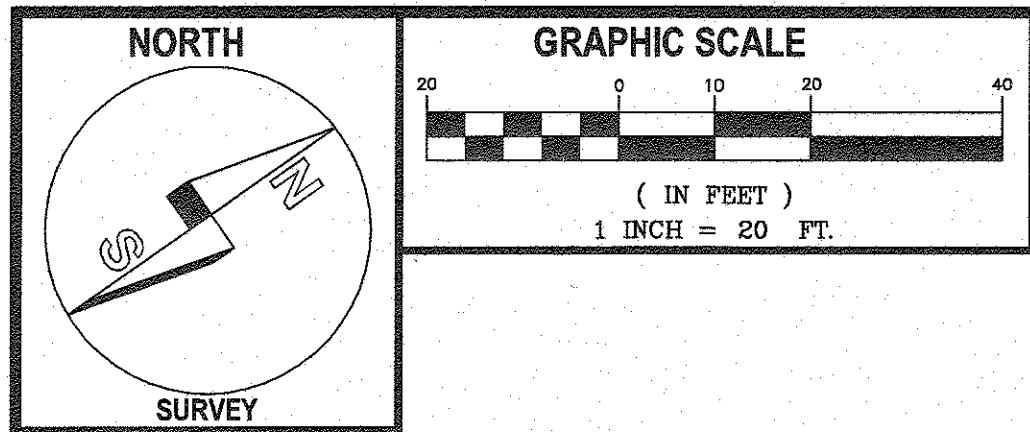
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N.J. LICENSE NO. 38804
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VEHICLE CIRCULATION PLAN
1280 TEANECK ROAD
TEANECK RETAIL DEVELOPMENT
TOWNSHIP OF TEANECK

BERGEN COUNTY **NEW JERSEY**

PROJECT NO.: TEANPRV12.011
SHEET NO.: 4.10
DATE: JULY 16, 2017

DESIGNED BY: E.M.J./J.L. CHECKED BY: D.J. SCALE: 1" = 20' FIELD BOOK NO.: PAGE:



NOT TO SCALE

Aerial Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

NOTES:

1. THIS VEHICLE IS AN AASHTO DESIGN VEHICLE AND IS NOT NECESSARILY REPRESENTATIVE OF THE ACTUAL FIRE APPARATUS UTILIZED BY THE TOWNSHIP OF TEANECK FIRE DEPARTMENT, AND IS FOR REFERENCE PURPOSES ONLY.
2. THE CIRCULATION CONFLICTS IDENTIFIED ON THIS PLAN ARE POTENTIAL CONFLICTS, BASED ON THE MANEUVERABILITY OF THE AASHTO DESIGN VEHICLE USING THE SOFTWARE AUTOTURN 10 FOR AUTOCAD CIVIL 3D 2016, BY TRANSOFT SOLUTIONS. THIS PROGRAM IS CONSERVATIVE IN ITS ANALYSIS OF VEHICLE CIRCULATION, AND MAY OR MAY NOT REPRESENT ACTUAL MANEUVERABILITY OR CIRCULATION PROBLEMS.

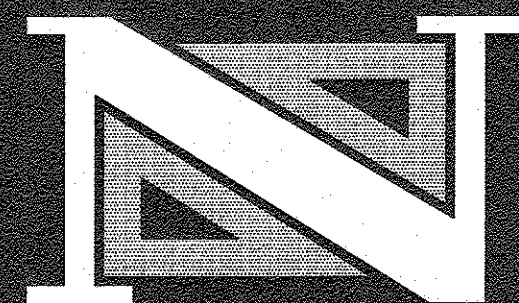
**AASHTO AERIAL FIRE TRUCK
DESIGN VEHICLE**

**INSET 'A': VEHICLE CIRCULATION PLAN
(AASHTO AERIAL FIRE TRUCK DESIGN VEHICLE)
SCALE: 1" = 20'**

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NO.	DATE	DESCRIPTION			



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E. M. Jacobs
7/18/17

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AERIAL FIRE TRUCK CIRCULATION PLAN
1280 TEANECK ROAD
TEANECK RETAIL DEVELOPMENT
TOWNSHIP OF TEANECK

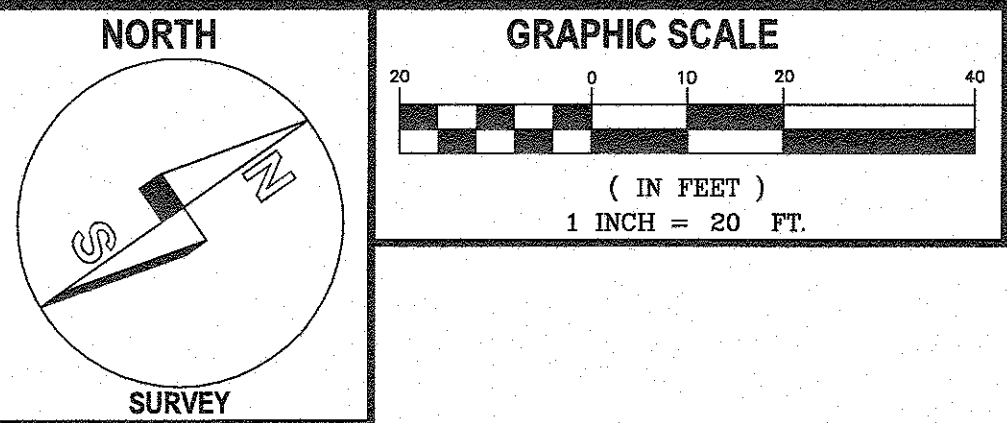
BERGEN COUNTY

NEW JERSEY

DRAWN BY: E.M.J./J.L.	CHECKED BY: D.J.	PROJECT NO.: TEANPRV12.011	SHEET NO.: 4.11
DESIGNED BY: E.M.J./J.L.	SCALE: 1" = 20'	DATE: JULY 18, 2017	
FIELD BOOK NO.:	PAGE:		

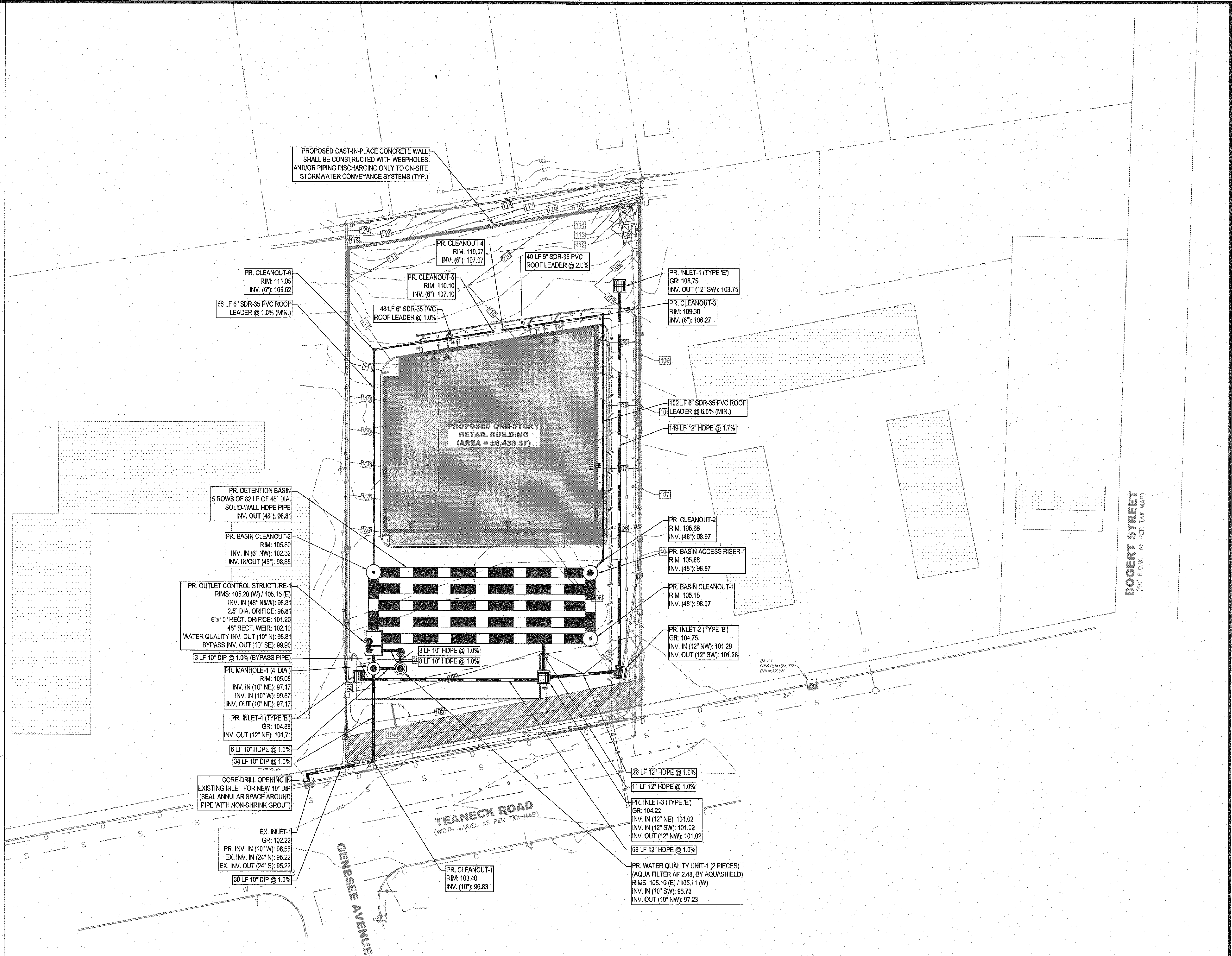
\\TEANECK\TEANPRV12\1111280 TEANECK RD\CAD\FINAL\4.10 VEHICLE CIRCULATION PLAN.DWG PLOTTED: 07/18/17

M:\TEANECK\TEAM\PRV\2011 (1280 TEANECK RD)\CAD\FINAL\5.00-GRADING PLAN.DWG PLOTTED: 07/18/17



NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, NJ" DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.
2. SITE LAYOUT PER EMAILED FILE ENTITLED "8-5-2015 1280 FLOOR PLAN" EMAILED ON AUGUST 5, 2015 AS PROVIDED BY MARIOS LACHANARIS.
3. NEAREST RESIDENTIAL ZONE IS ADJACENT TO THE PROPERTY ALONG THE WESTERLY PROPERTY LINE.
4. ALL PVC PIPE TO BE SDR35.
5. CLEANOUTS IN PAVED AREAS TO BE RECESSED IN A CAST IRON INSPECTION BOX PER TOWNSHIP REQUIREMENTS.



APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

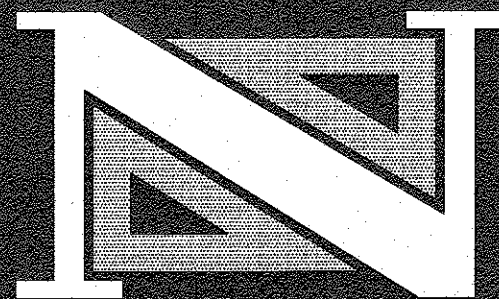
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REVISIONS			DRAWN	DESIGNED	CHECKED
NO.	DATE	DESCRIPTION			
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC	DJ
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ	DJ



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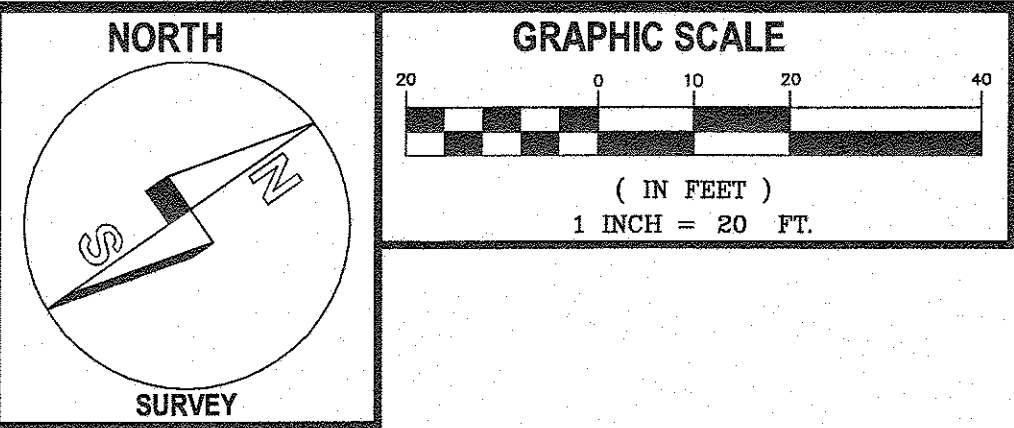
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PROFESSIONAL PLANNER
N.J. LICENSE NO. 3310060800

DRAINAGE PLAN			NEW JERSEY	
1280 TEANECK ROAD				
TEANECK RETAIL DEVELOPMENT				
TOWNSHIP OF TEANECK				
BERGEN COUNTY				
DESIGNED BY: E.M.J./J.L.	CHECKED BY: D.J.	PROJECT NO: TEANPRV12.011	SHEET NO: 5.01	
FIELD SKETCH: E.M.J./J.L.	SCALE: 1" = 20'	DATE: NOVEMBER 26, 2013		



NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, NJ" DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.
2. SITE LAYOUT PER EMAILED FILE ENTITLED "8-5-2015 1280 FLOOR PLAN" EMAILED ON AUGUST 5, 2015 AS PROVIDED BY MARIOS LACHANARIS.
3. NEAREST RESIDENTIAL ZONE IS ADJACENT TO THE PROPERTY ALONG THE WESTERLY PROPERTY LINE.
4. ALL PVC PIPE TO BE SDR35.
5. CLEANOUTS IN PAVED AREAS TO BE RECESSED IN A CAST IRON INSPECTION BOX PER TOWNSHIP REQUIREMENTS.

SANITARY SEWER FLOW DEMAND CALCULATIONS

Proposed Development Flow Generation Calculations			
Establishment Type	Number of Units ²	GPD per unit ³	Projected Flow(Q)
Retail (Stores and shopping)	6,500	0.1	650 GPD
			0.001 MGD
			0.001 CFS
			0.45 GPM

Notes:

1. Per NJAC 7:14A-23.3, the type of establishment that represents the proposed development is "Stores and Shopping Centers (gross area)." The flow demand is based on gross square footage of establishment, at a unit rate of 0.10 gpd/unit.

GRAVITY SANITARY SEWER CAPACITY CALCULATIONS

Sanitary Sewers shall be designed to carry twice the estimate average project flow when flowing half full.

Gravity Sewer Calculations

D	Pipe Diameter	4	inches
A	Cross-sectional Area	0.09	ft ²
A _{1/2}	1/2 Cross-sectional Area	0.04	ft ²
P _w	Wetted Perimeter	1.05	ft
P _{w1/2}	Wetted Perimeter (half full)	0.52	ft
R _{1/2} = (A _{1/2} / P _{w1/2})	Hydraulic Radius (half full)	0.08	ft
S	Pipe Slope	0.010	ft/ft (min. slope)
n	Manning's Roughness Coeff.	0.010	(PVC)

Pipe Capacity, flowing half full

Mannings Equation:	$Q = (1.49/n) \cdot A_{1/2} \cdot R_{1/2}^{2/3} \cdot S^{1/2}$		
	Q _{HALF FULL} =	0.12	ft ³ /s (cfs) capacity
	V _{HALF FULL} =	2.8	ft/s (fps)
	Q _{HALF FULL} =	0.08	MGD capacity

Contributory Flow per NJAC 7:9A-7.4

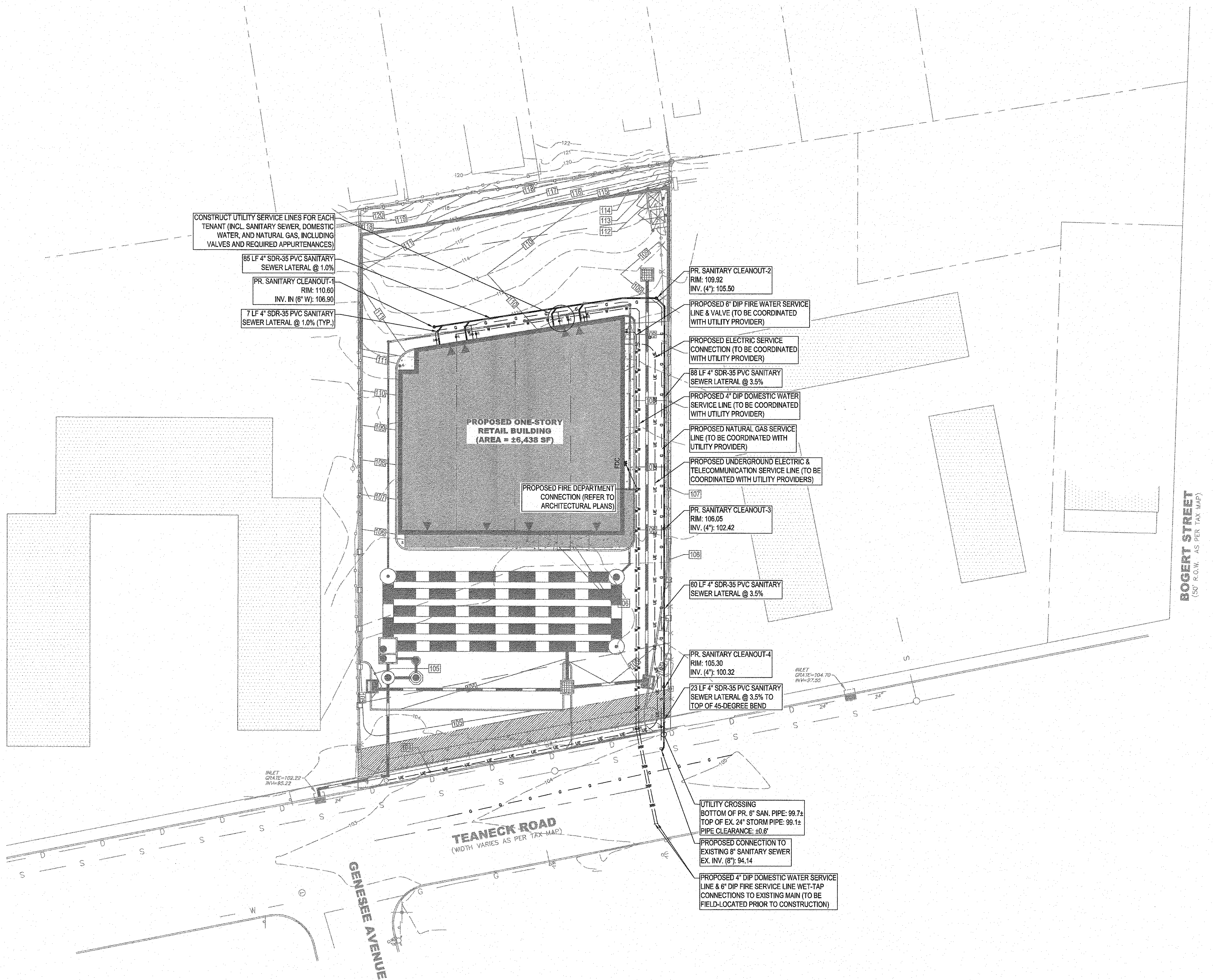
(See Flow Generation Calculations)

Total Proposed Flow (Q _T)	650	GPD
	0.00065	MGD
	0.0010	cfs
Q _{HALF FULL} =	0.12 cfs >> 2 x Q _T =	0.0020 cfs

APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: DATE:

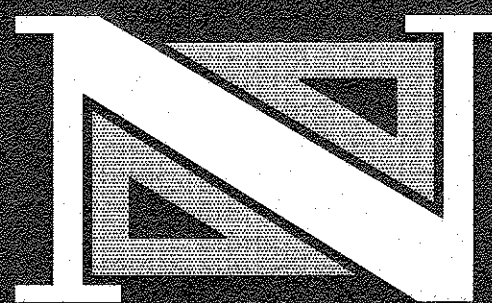
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REVISIONS				
NO.	DATE	DESCRIPTION	DRAWN	CHECKED
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DJ
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	DJ



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Signature of Evan M. Jacobs, P.E.

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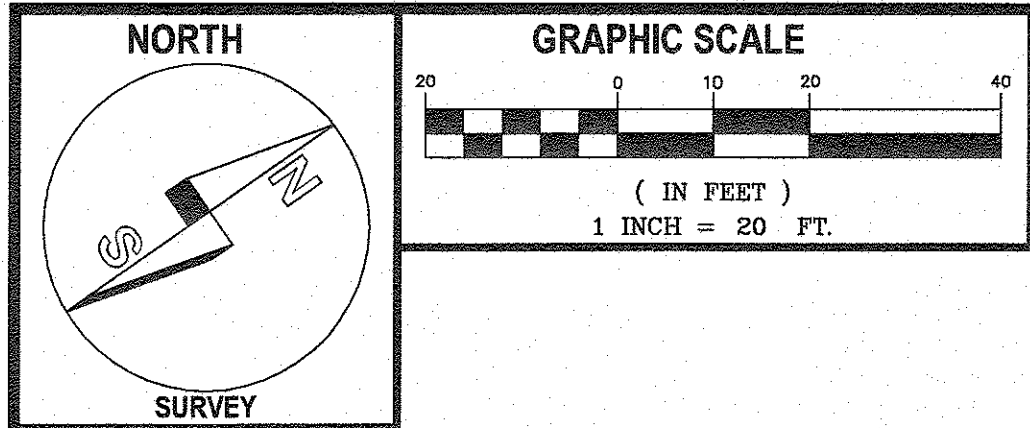
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UTILITY PLAN			
1280 TEANECK ROAD			
TEANECK RETAIL DEVELOPMENT			
TOWNSHIP OF TEANECK			
BERGEN COUNTY		NEW JERSEY	
DRAWN BY: E.M.J./J.L.	CHECKED BY: D.J.	PROJECT NO.: TEANPRV12.011	SHEET NO.: 6.00
DESIGNED BY: E.M.J./J.L.	SCALE: 1" = 20'	DATE: NOVEMBER 28, 2013	
FIELD BOOK NO.:	PAGE:		

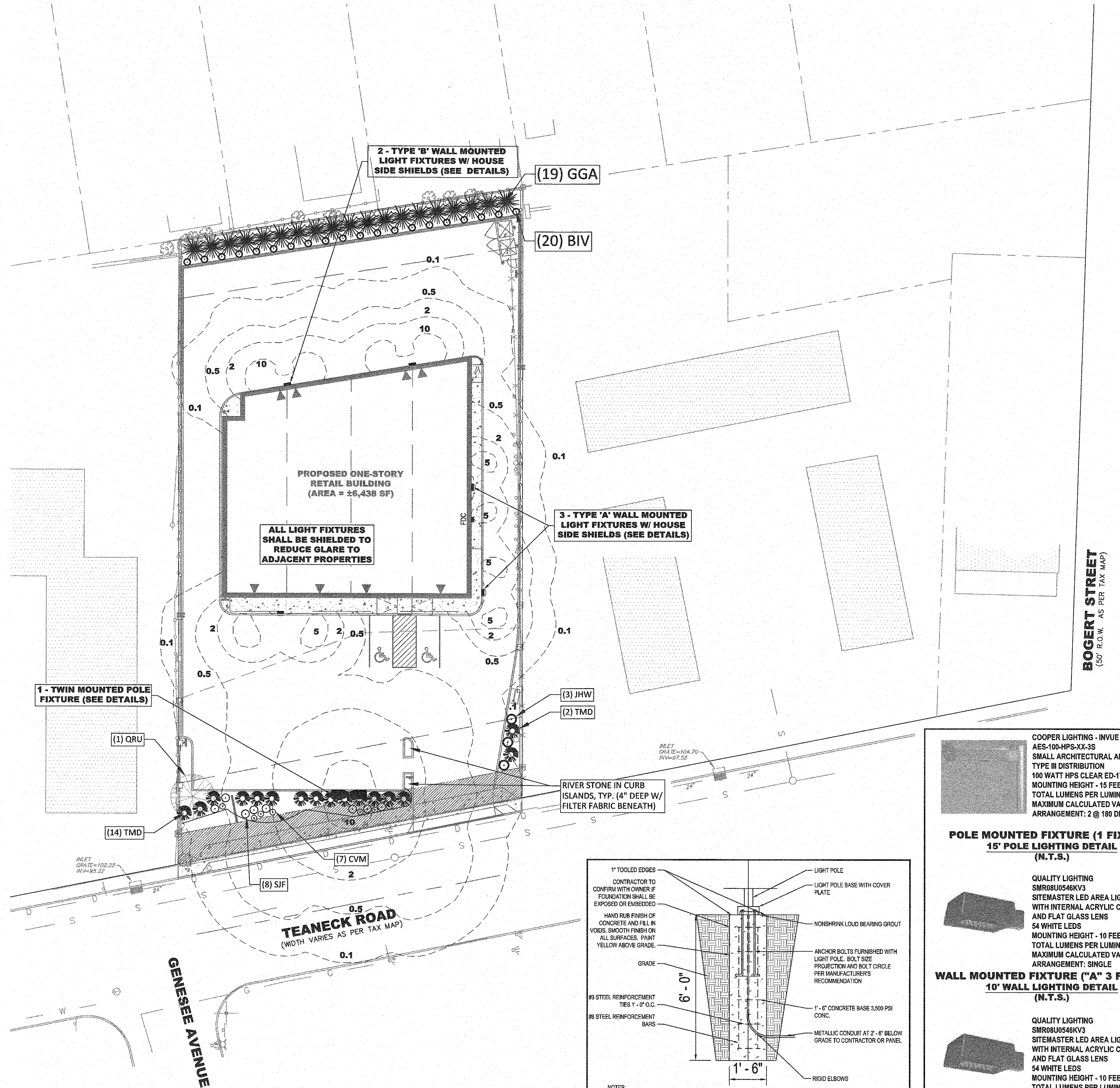


NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 1280 TEANECK ROAD, LOT 21, BLOCK 4906, TOWNSHIP OF TEANECK, BERGEN COUNTY, NJ" DATED DECEMBER 27, 2012 AS PREPARED BY NEGLIA ENGINEERING ASSOCIATES.
2. BUILDING/ARCHITECTURAL LAYOUT PROVIDED ELECTRONICALLY BY MARIOS LACHANARIS, ARCHITECT, LLC, DATED MARCH 5, 2016, LAST REVISED MAY 4, 2017.
3. LIGHTING FIXTURES FOR INFORMATIONAL PURPOSES ONLY. FINAL LIGHTING STYLES AND MODELS TO BE SELECTED BY THE PROPERTY OWNER/APPLICANT AND APPROVED BY THE MUNICIPAL ENGINEER.
4. ALL PROPOSED LIGHTING TO MEET MUNICIPAL STANDARDS AND REGULATIONS.
5. FOR INSTALLATION OF THE BOSTON IVY PLANTS, CONTRACTOR SHALL REMOVE ANY ACCOMPANYING TRELLIS OR SUPPORT PROVIDED BY THE NURSERY AND INSTALLED SO AS TO PROMOTE GROWTH DOWN THE PROPOSED CONCRETE RETAINING WALL.

PLANT SCHEDULE:

Key	Quan.	Unit	Botanical Name	Common Name	Size	Spacing	Root	Remarks
CVM	7	Unit	Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed	15"-18" ht.	2' o.c.	2 gal.	Well rooted,
JHW	3	Unit	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	18"-24" spr.	as shown	3 gal.	
QRU	1	Unit	Quercus rubra 'Fastigiata'	Columnar Northern Red Oak	2.5"-3" cal.	as shown	B&B	
SJF	8	Unit	Spirea japonica 'Firelight'	Firelight Spirea	18"-24" ht.	3' o.c.	3 gal.	
TMD	16	Unit	Taxus x media 'Densiflora'	Densiflora Yew	18"-24" ht.	3' o.c.	B&B	
BIV	20	Unit	Parthenocissus tricuspidata 'Fenway Park'	Fenway Park Boston Ivy	6' o.c.	2 gal.		See Note 5
GGA	19	Unit	Thuja standishii x plicata 'Green Giant'	Green Giant Arborvitae	6'-7' ht.	6' o.c.	B&B	



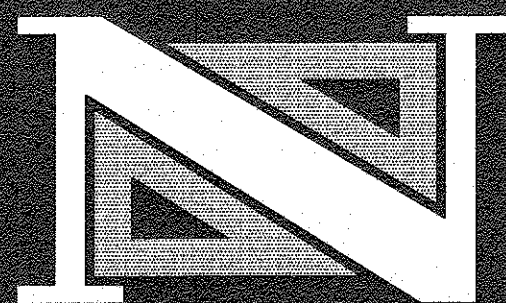
APPROVED BY THE
COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

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2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ	DJ



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NEW JERSEY

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LIGHTING & LANDSCAPING PLAN
1280 TEANECK ROAD
TEANECK RETAIL DEVELOPMENT
TOWNSHIP OF TEANECK

BERGEN COUNTY

NEW JERSEY

DRAWN BY: E.M.J./J.L. CHECKED BY: D.J. PROJECT NO.: TEANPRV12.011 SHEET NO.: 7.00
DESIGNED BY: E.M.J./J.L. SCALE: 1" = 20' DATE: NOVEMBER 26, 2013
FIELD BOOK NO.: PAGE:

BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES

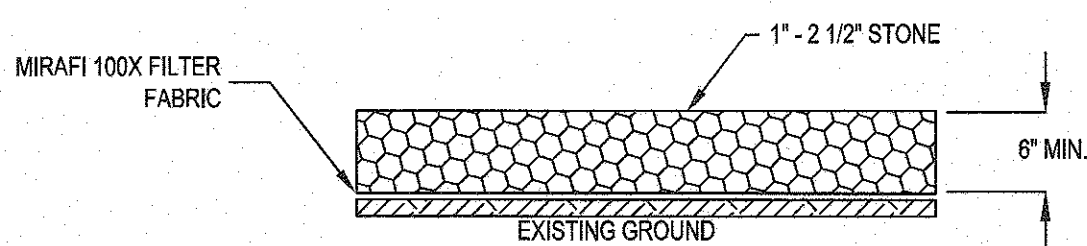
- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and bound in accordance with the NJ Standards (i.e. peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:**
 - Temporary Seeding and Mulching:**
 - Lim*e - 90 lbs./1,000 sf ground limestone; *Fertilizer* - 11 lbs./1,000 sf, 10-20-10 or equivalent worked into the soil a minimum of 4".
 - Seed* - perennial ryegrass 40 lbs./acre (1 lb./1,000 sf) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
 - Mulch* - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sf to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
 - Permanent Seeding and Mulching:**
 - Topsoil* - uniform application to a depth of 5" (unsettled).
 - Lim*e - 90 lbs./1,000 sf ground limestone; *Fertilizer* - 11 lbs./1,000 sf, 10-20-10 or equivalent worked into the soil a minimum of 4".
 - Seed* - Turf type tall fescue (blend of 3 cultivars) 150 lbs./acre (3.5 lbs./1,000 sf) or other approved seeds; plant between March 1 and November 15.
 - Mulch* - salt hay or small grain straw at a rate of 70 to 90 lbs./1,000 sf to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2½" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" - 2½" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 30-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, **in writing**, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649. Tel: 201-261-4407; Fax: 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. **The District requires at least one week's notice to facilitate the scheduling of all report of compliance inspections.** All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

Revised 5/03

SEQUENCE OF CONSTRUCTION

- | | |
|---|----------|
| 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE & INLET FILTERS & EXISTING INLETS | 1 DAY |
| 2. DEMOLITION, SITE CLEARING & TOPSOIL STRIPPING | 1 WEEK |
| 3. CONSTRUCT RETAINING WALLS | 2 WEEKS |
| 4. ROUGH GRADE SITE | 1 WEEK |
| 5. CONSTRUCT BUILDING FOUNDATION | 1 WEEK |
| 6. CONSTRUCT STORM SYSTEMS | 2 WEEKS |
| 7. CONSTRUCT ALL UTILITIES | 2 WEEKS |
| 8. CONSTRUCT BUILDING | 12 WEEKS |
| 9. FINAL SITE GRADING | 1 WEEK |
| 10. CONSTRUCT CURBING & PAVEMENT | 2 WEEKS |
| 11. INSTALL LANDSCAPING & LIGHTING | 1 WEEK |
| 12. TOPSOIL & SEED DISTURBED AREAS | 3 DAYS |
| 13. REMOVE SOIL EROSION AND SEDIMENT CONTROL DEVICES, FINAL SITE CLEANUP | 1 DAY |
| TOTAL = 26 WEEKS | |

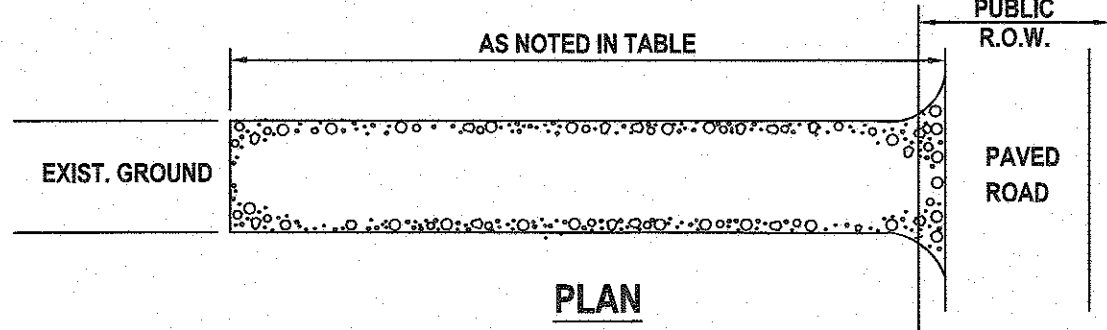
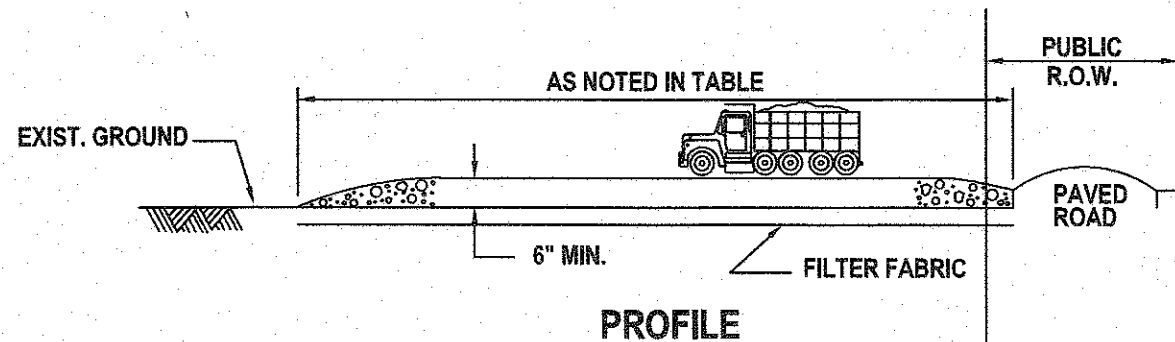
LIMIT OF DISTURBANCE = 26,330 SF (0.60 ACRES)



NOTE: APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W. MUST BE PROVIDED.

STABILIZED CONSTRUCTION PAD DETAIL

NOT TO SCALE

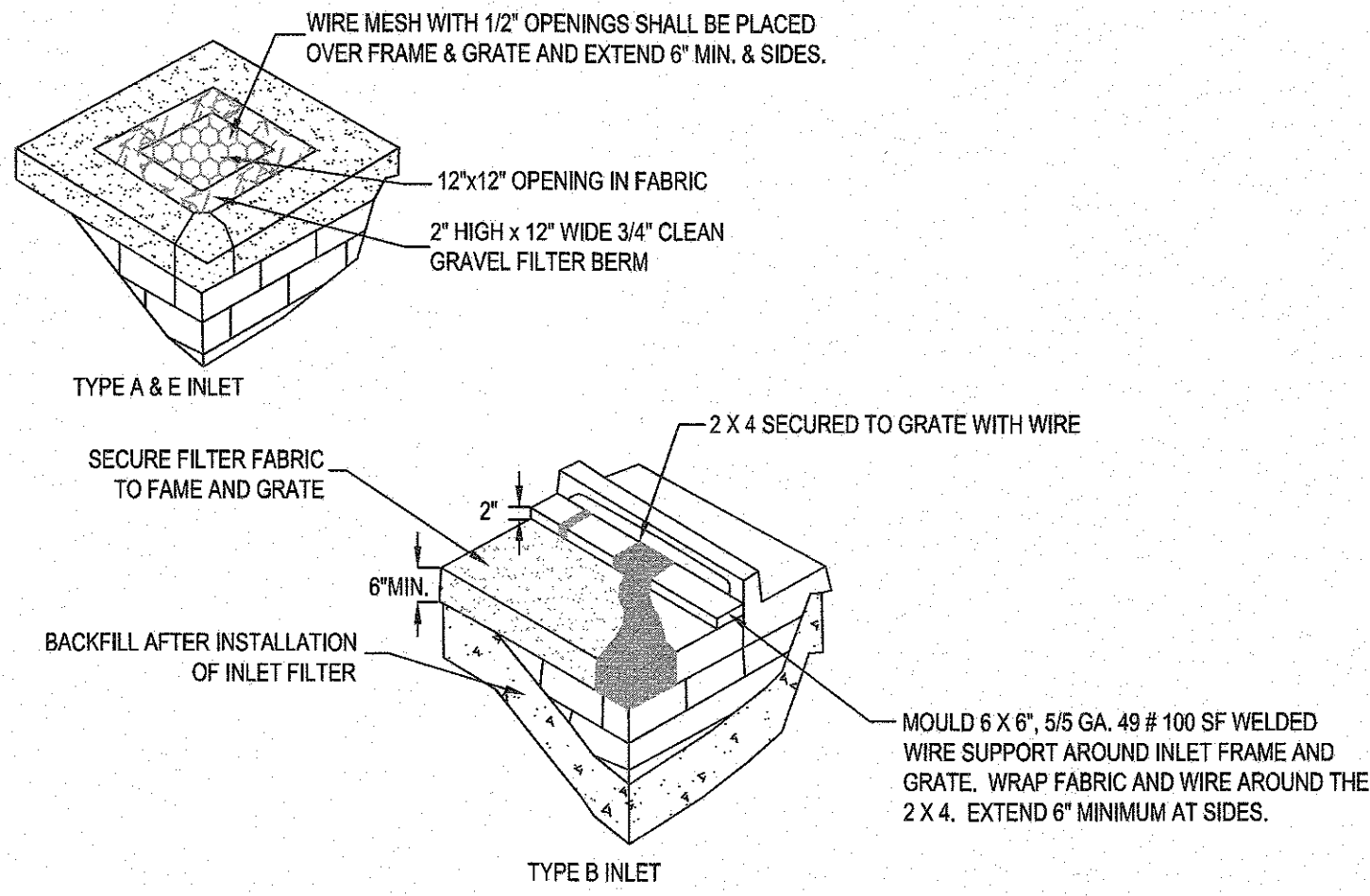


NOTES:

- STONE SIZE 1 1/2" - 2 1/2" CRUSHED STONE
WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.
WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.
- | PERCENT SLOPE OF ROADWAY | LENGTH OF STONE REQUIRED | |
|--------------------------|---|--------------------|
| | COARSE GRAINED SOILS | FINE GRAINED SOILS |
| 0 TO 2% | 50 ft. | 100 ft. |
| 2 TO 5% | 100 ft. | 200 ft. |
| >5% | ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE 1 | |
1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

STABILIZED CONSTRUCTION DRIVEWAY DETAIL

NOT TO SCALE

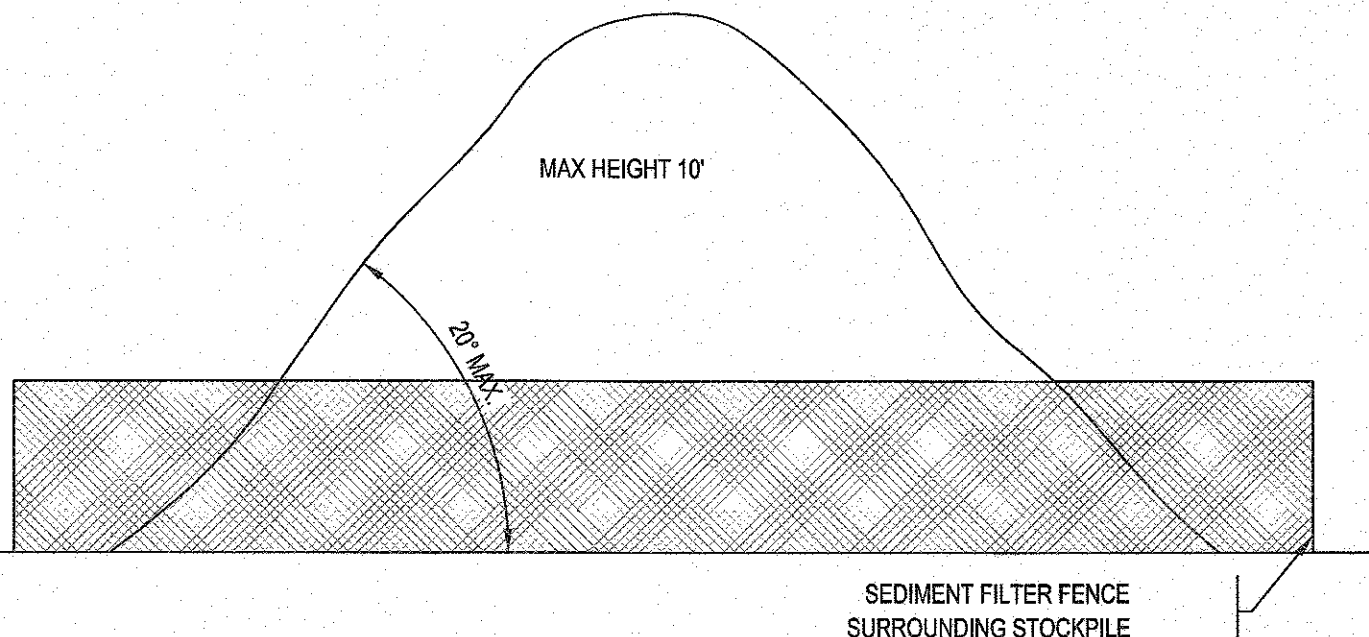


NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
- CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
- IF BOTTOM OF ROADWAY IS BELOW TOP OF INLET GRATE, CONSTRUCT PROPERLY FILTERED OPENING(S) IN INLET WALL TO ALLOW PASSAGE OF WATER.
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER.

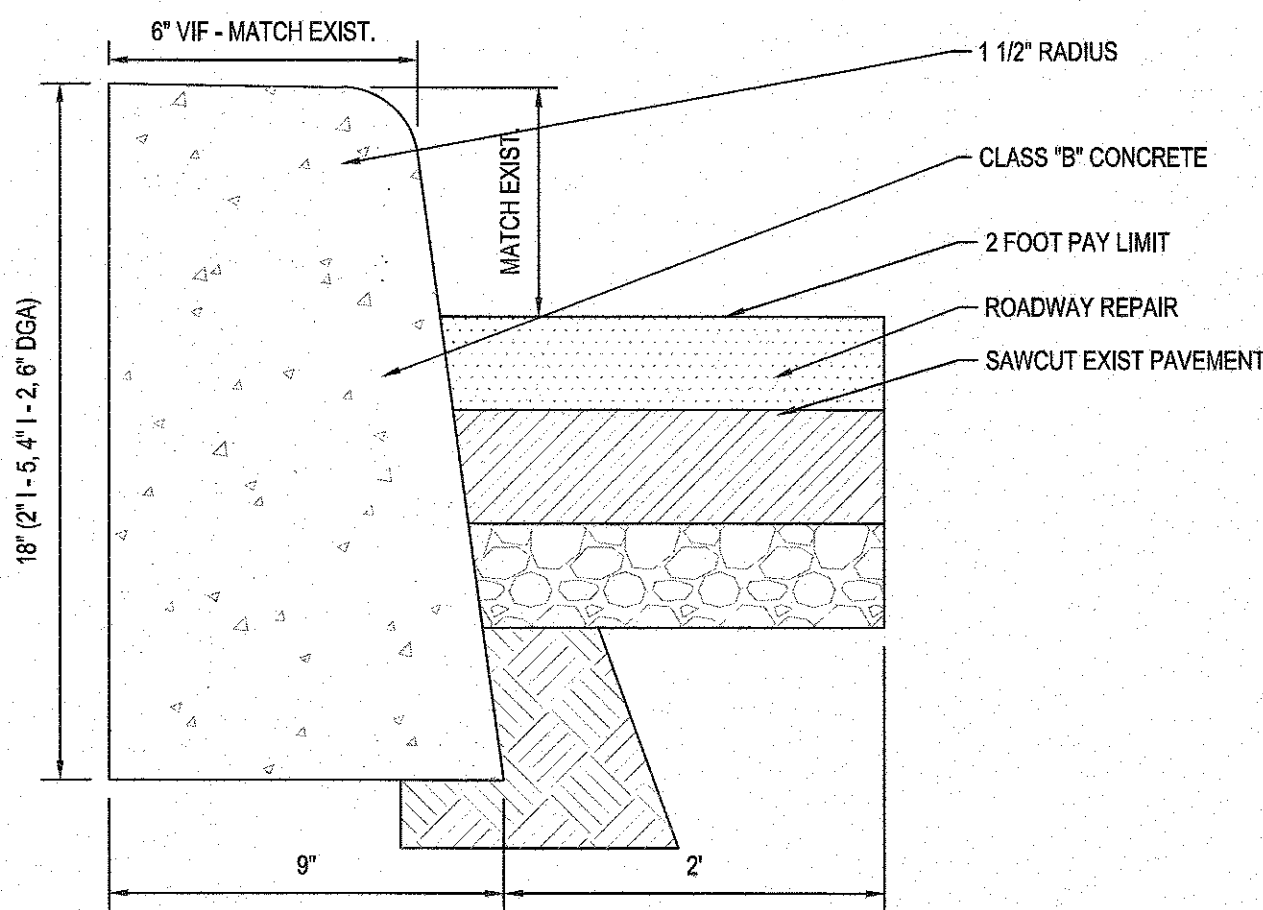
INLET FILTER PROTECTION DETAIL

NOT TO SCALE



SOIL STOCKPILE DETAIL

NOT TO SCALE

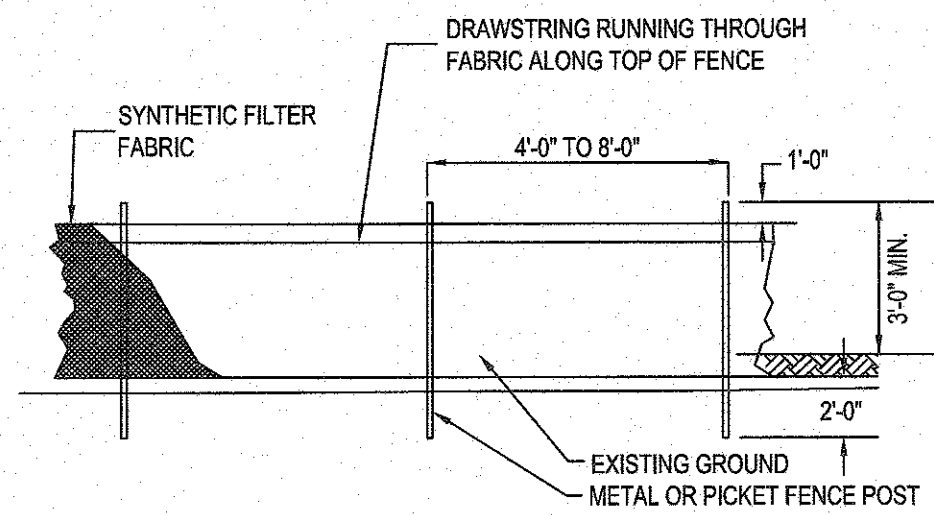


NOTES:

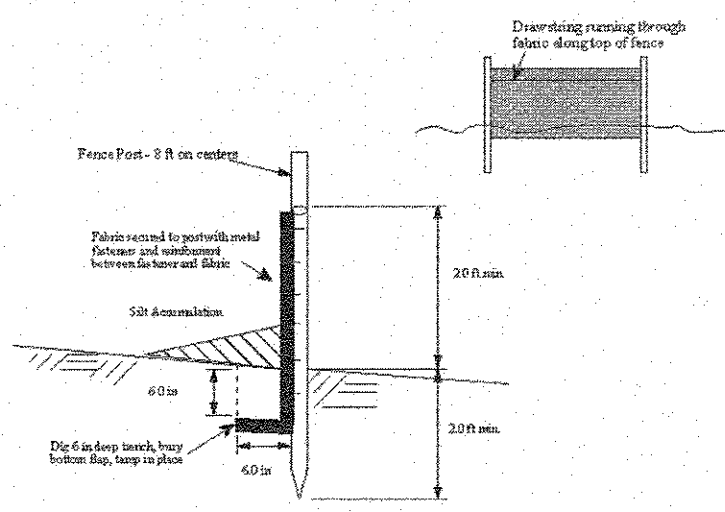
- FULL FORM CURBS MUST BE USED.
- ALL QUANTITIES WITHIN THE 2 FOOT PAY LIMIT SHALL BE INCORPORATED IN THE UNIT PRICE BID FOR CURB.
- ALL EXCAVATION INCLUDES THE REMOVAL OF EXISTING CURB AND SHALL BE INCORPORATED IN THE UNIT PRICE BID FOR CURBING.

9" X 18" CONCRETE CURB

NOT TO SCALE



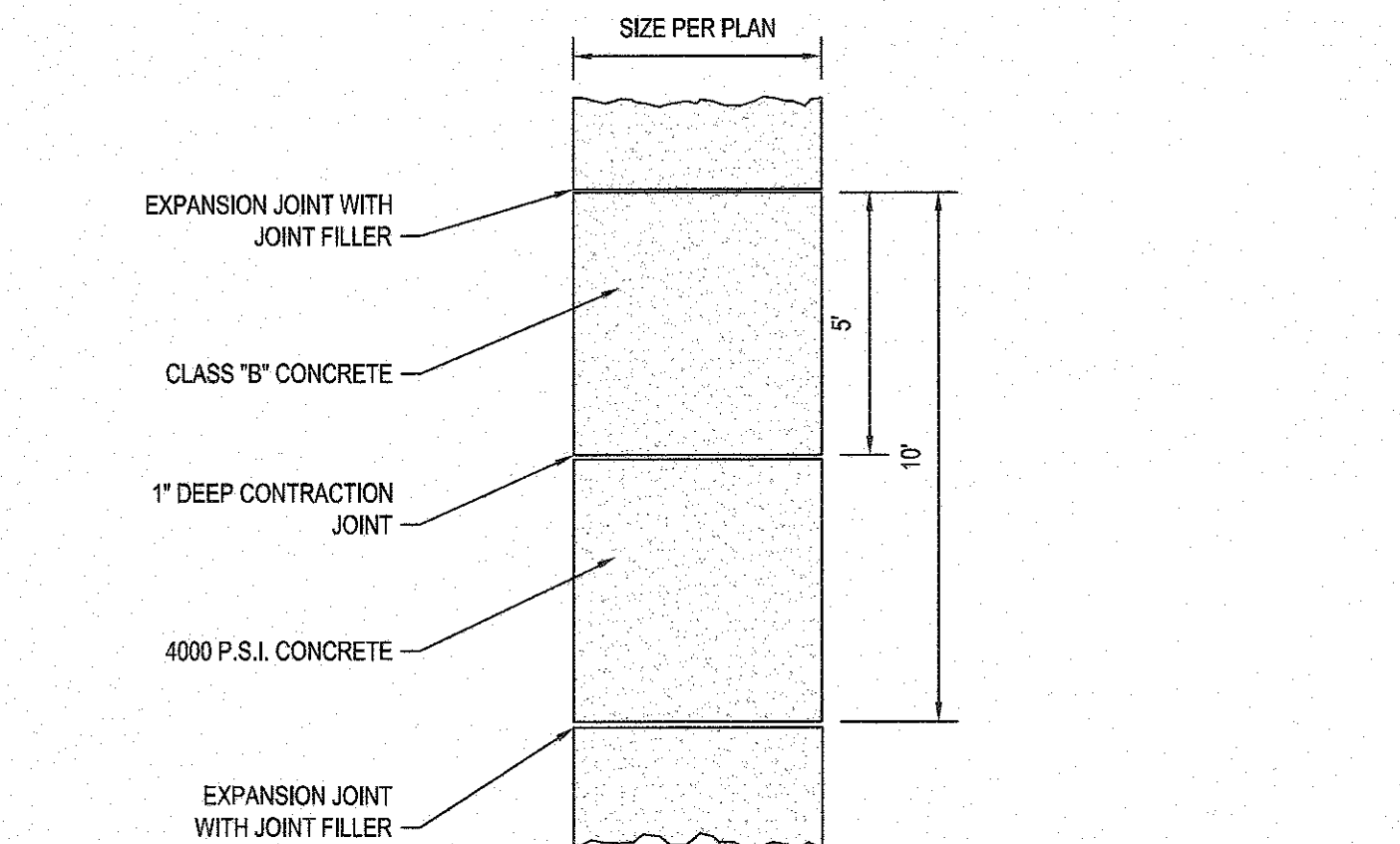
FRONT ELEVATION



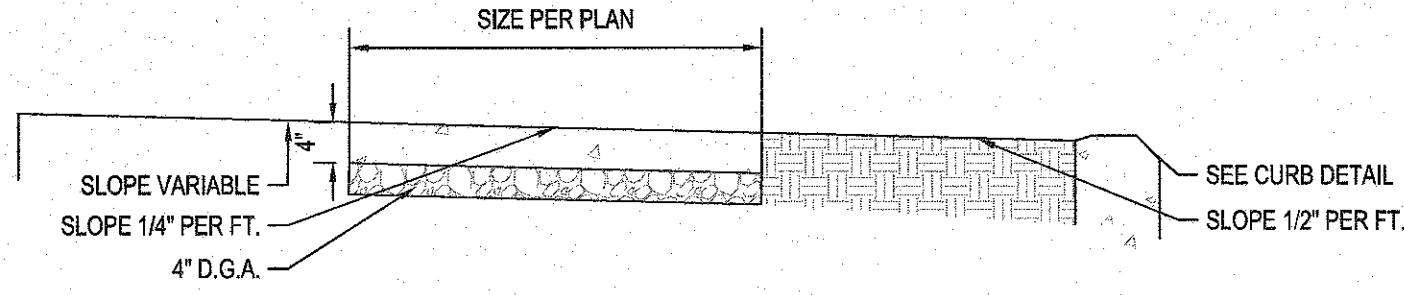
SIDE ELEVATION

SEDIMENT FILTER FENCE DETAIL

NOT TO SCALE



PLAN VIEW



NOTES:

- UNIT PRICE FOR SIDEWALK INCLUDES EXCAVATION, GRADING, CONCRETE REMOVAL, CONC. SAWCUTTING AND DISPOSAL, AND D.G.A.
- EXISTING GREEN BELT MATERIALS (GRASS, BRICK, CONCRETE, ETC.) TO BE REPLACED WITH SAME MATERIAL UNLESS OTHERWISE APPROVED OR DIRECTED BY THE BOROUGH ENGINEER.
- PAY LIMIT FOR TOPSOIL, SEED, & MULCHING IS AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER.

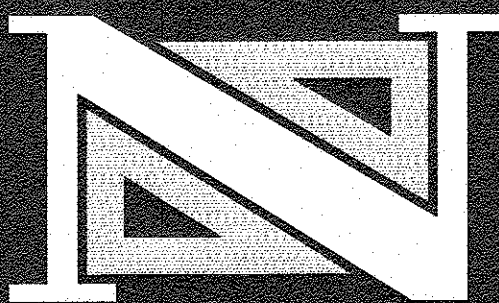
4' CONCRETE SIDEWALK

NOT TO SCALE

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REVISIONS				DRAWN	DESIGNED	CHECKED
NO.	DATE	DESCRIPTION				
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC	DJ	
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ	DJ	



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CONSTRUCTION DETAILS

1280 TEANECK ROAD
TEANECK ROAD DEVELOPMENT
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK

BERGEN COUNTY

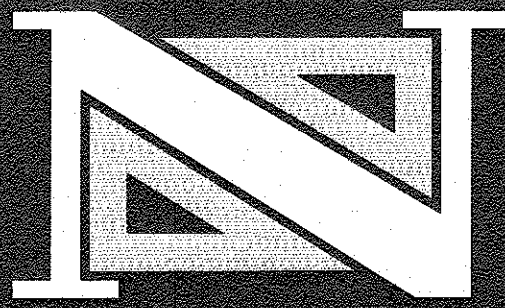
NEW JERSEY

DRAWN BY: J.M.L. CHECKED BY: D.J. PROJECT NO.: TEANPRV12.011 SHEET NO.: 8.00
DESIGNED BY: J.M.L. SCALE: N.T.S.
FIELD BOOK NO.: 1 PAGE 1 DATE: NOVEMBER 20, 2013



Wall Details	Dimension		Reinforcing "P"
	"A"	"B"	
Detail 1	3'-6"	7'-0"	#5@9"
Detail 2	2'-0"	5'-0"	#5@9"
Detail 3	3'-6"	5'-6"	#5@6"
Detail 4*	5'-6"	7'-0"	#5@6"

1. Backfill shall be composed of clean, well drained granular soils. Backfill shall be placed in lifts of a maximum of 8 inch thickness and be uniformly compacted to at least 95% percent of the maximum dry density as determined by the ASTM D-1557 test procedure and the total unit weight of the backfill in place shall not exceed 125 pcf as determined by aforesaid standard.
2. The area behind the walls noted on the plans as Details 3 and 4, shall be backfilled with soil having a clay and silt content of 30% or more and shall be backfilled in lifts.
3. All concrete shall be controlled stone concrete complying with ACI Building Code requirements and shall have a minimum 28 day compressive strength of 4,000 psi.
4. All pours shall be terminated by forms and keys shall be provided between adjacent pours as directed by the Engineer
5. All reinforcing bars shall be new billet steel, deformed type, ASTM A615 Grade 60 and shall comply with all ACI code requirements. All detailing, fabrication and erection of reinforcing bars shall follow the "ACI Detailing Manual (ACI 315)."
6. Provide clearances from face of concrete to reinforcement as follows:
 - a) Cast against earth-3 inches
 - b) Exposed to earth or weather-2 inches
7. All concrete, including footing work, shall be vibrated with methods approved by the Engineer. All concrete shall be placed in accordance with ACI 304 and concrete shall not be exposed to drops in excess of 5 feet
8. Detailed shop drawings showing reinforcing and formwork shall be submitted to the Engineer for review.

[illegible]

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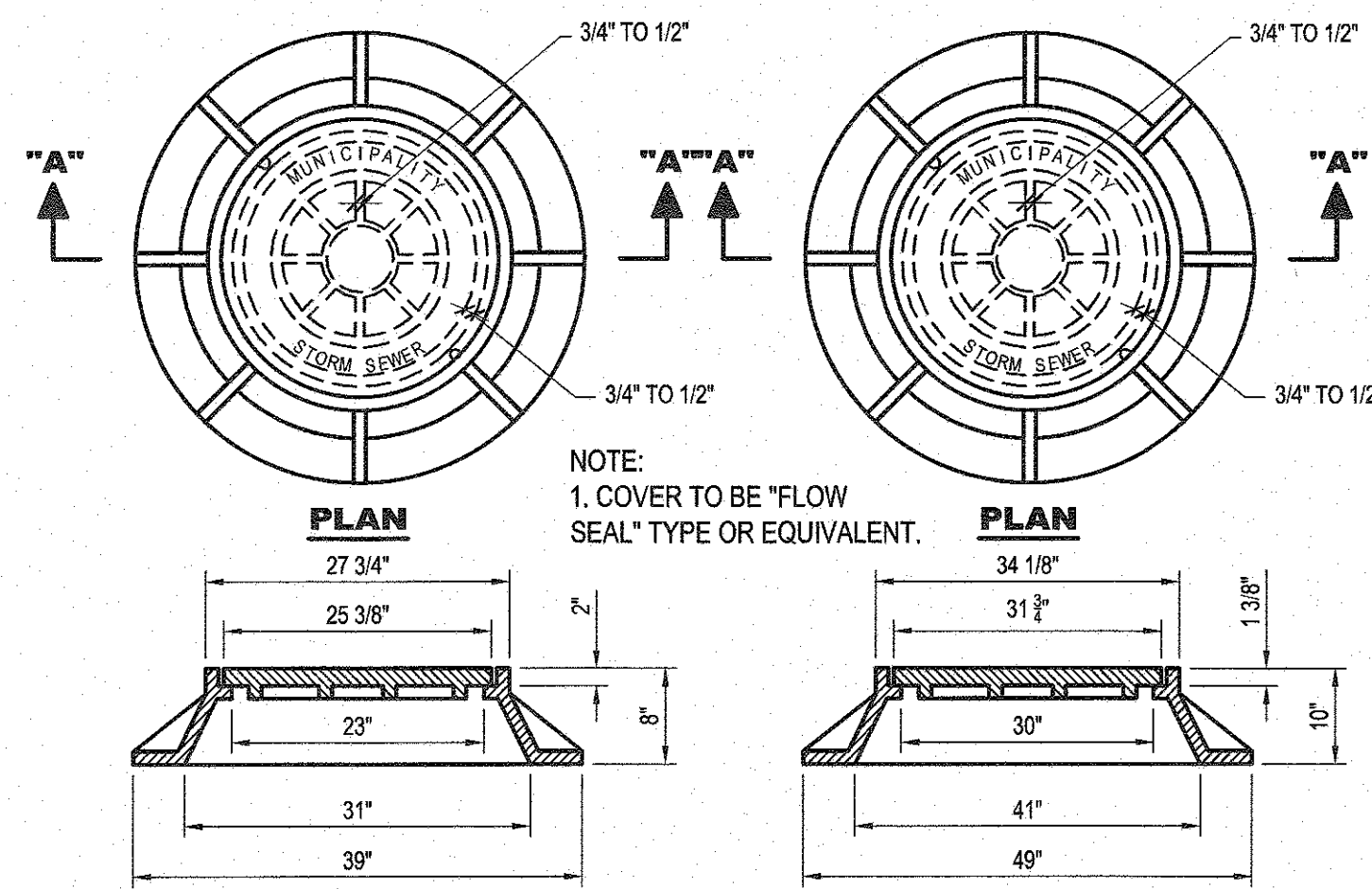
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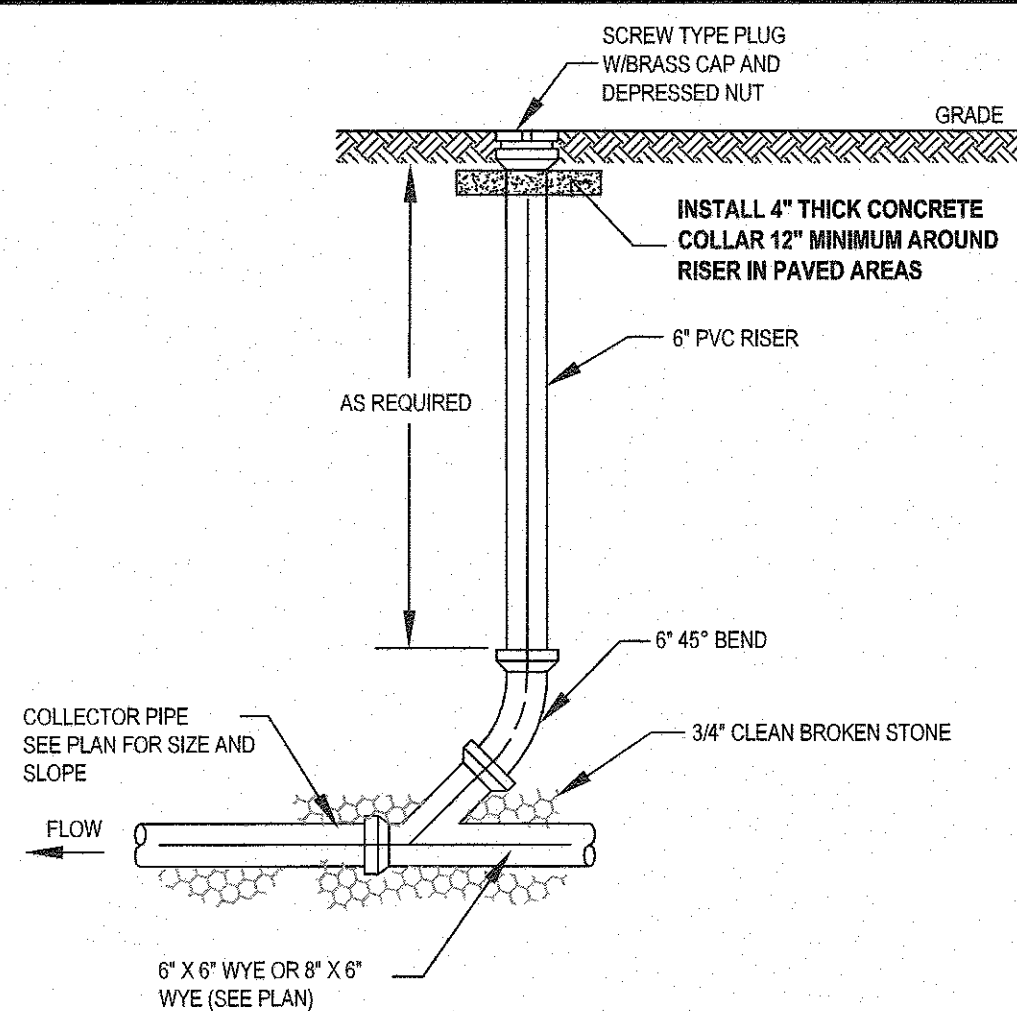
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1280 TEANECK ROAD
TEANECK ROAD DEVELOPMENT
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK

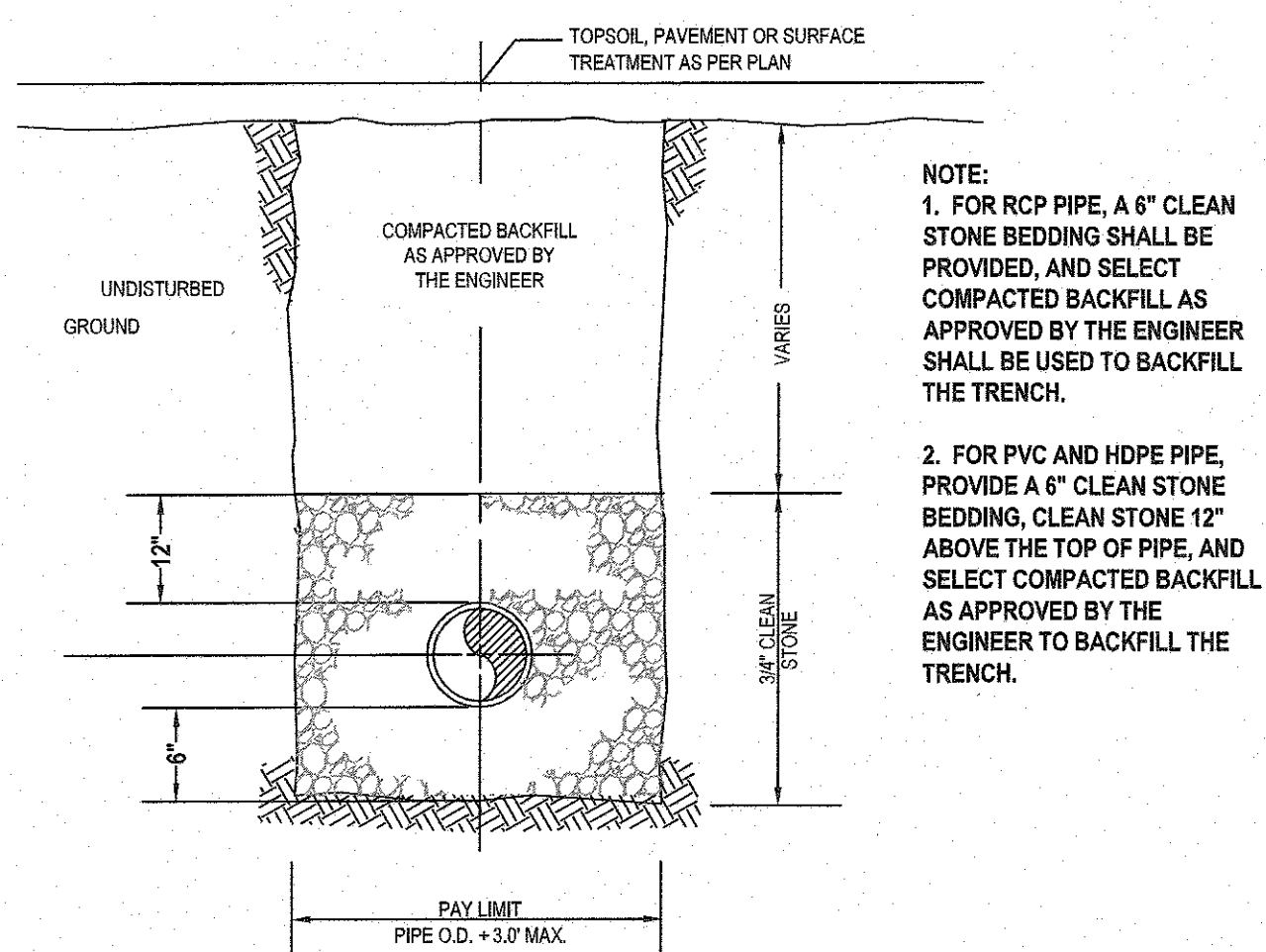
BERGEN COUNTY				NEW JERSEY			
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DESIGNED BY: J.M.L.		SCALE: N.T.S.					
E.D. BOOK NO.:		PAGE:		DATE:		NOVEMBER 28, 2013	



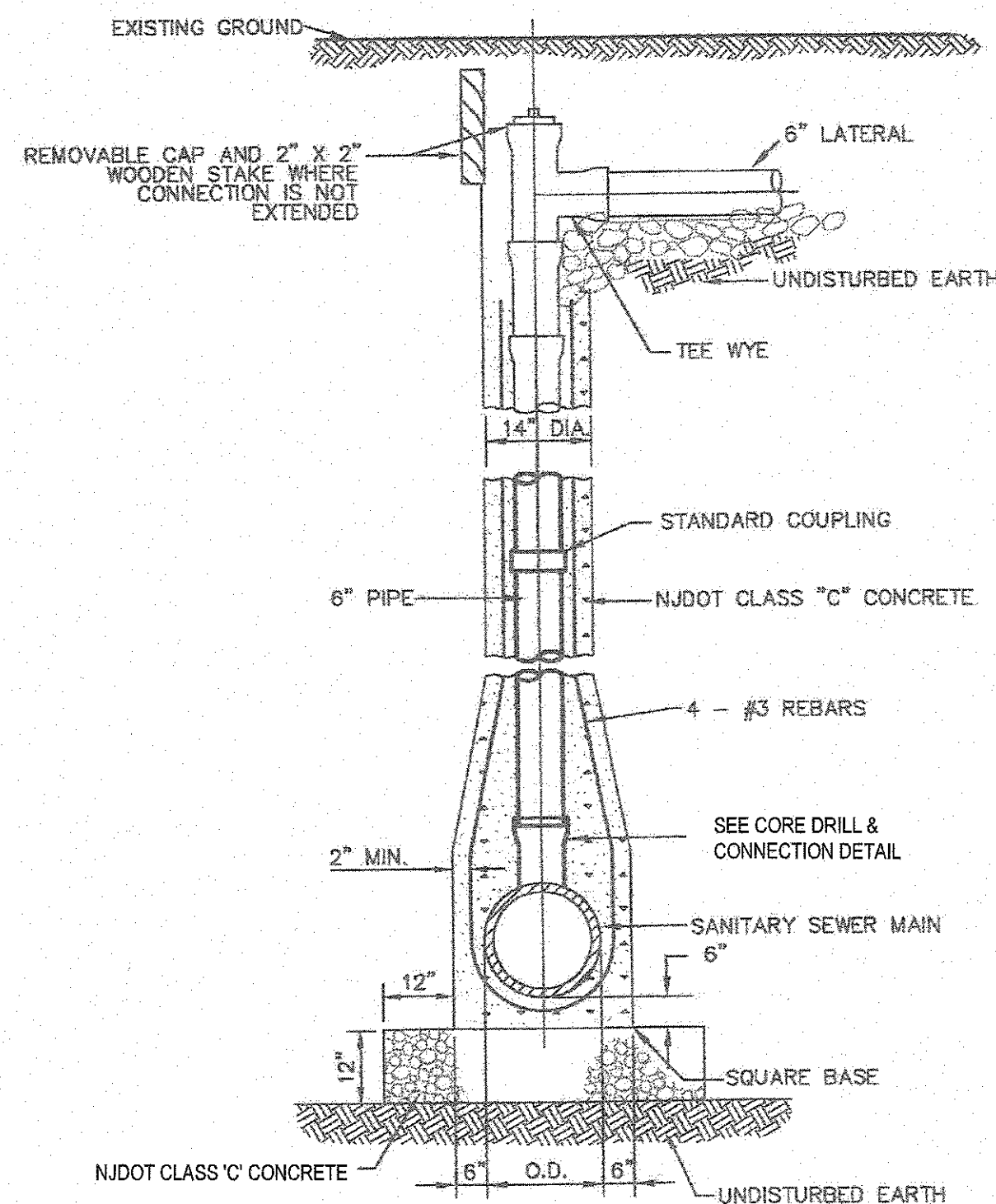
MANHOLE FRAME & COVER
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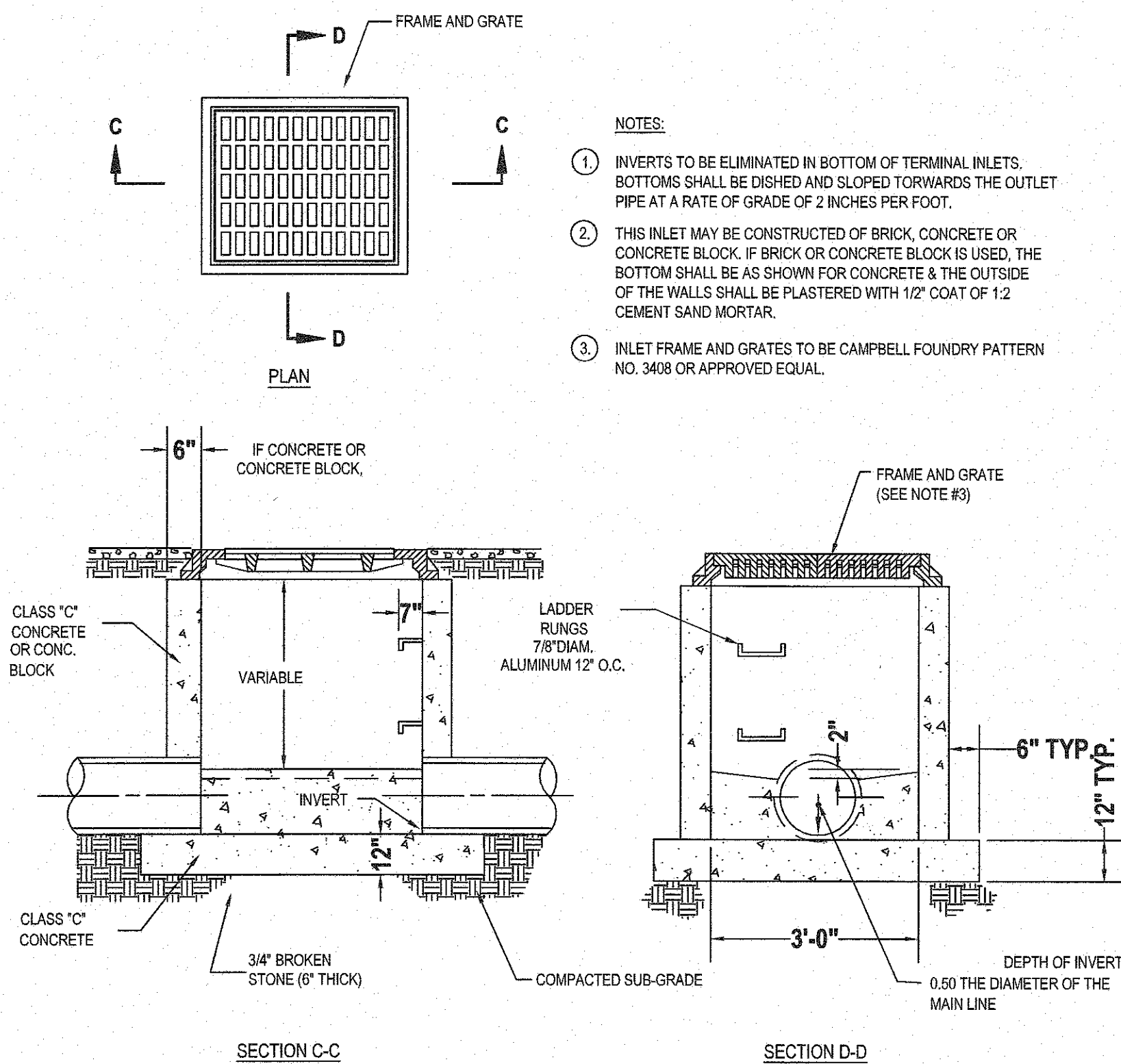
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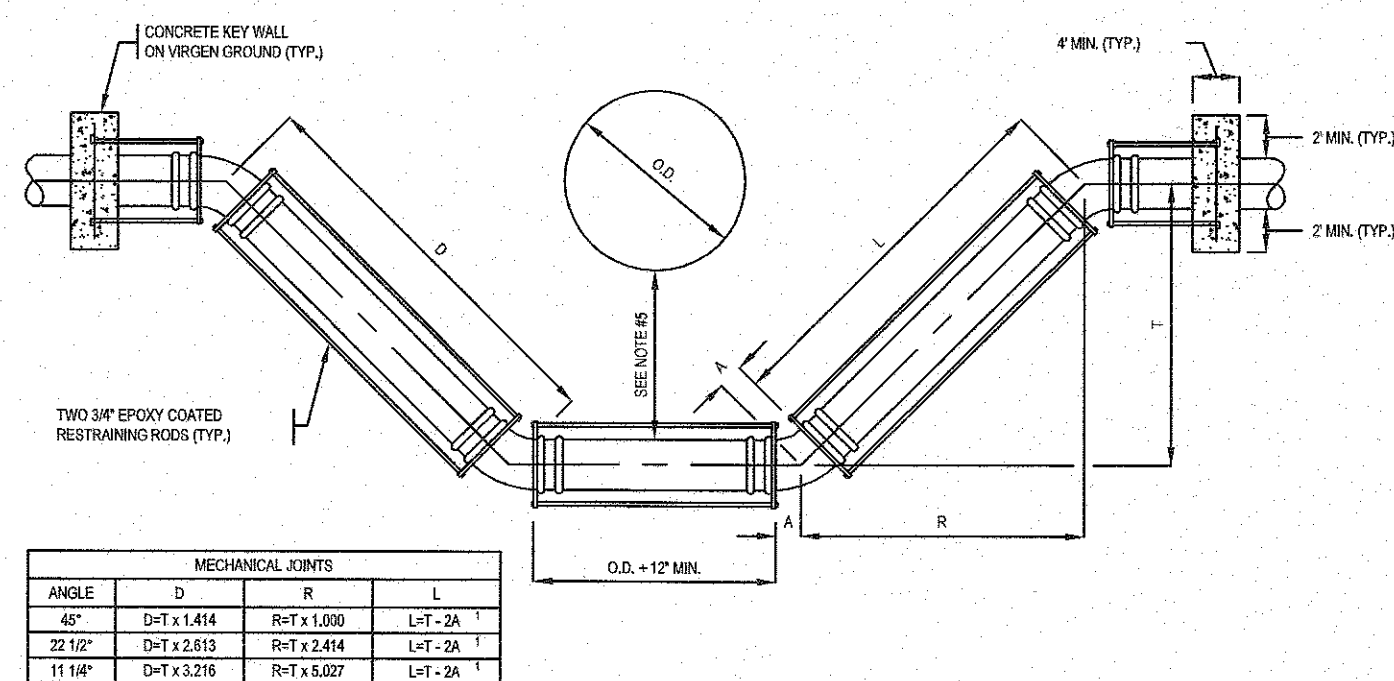
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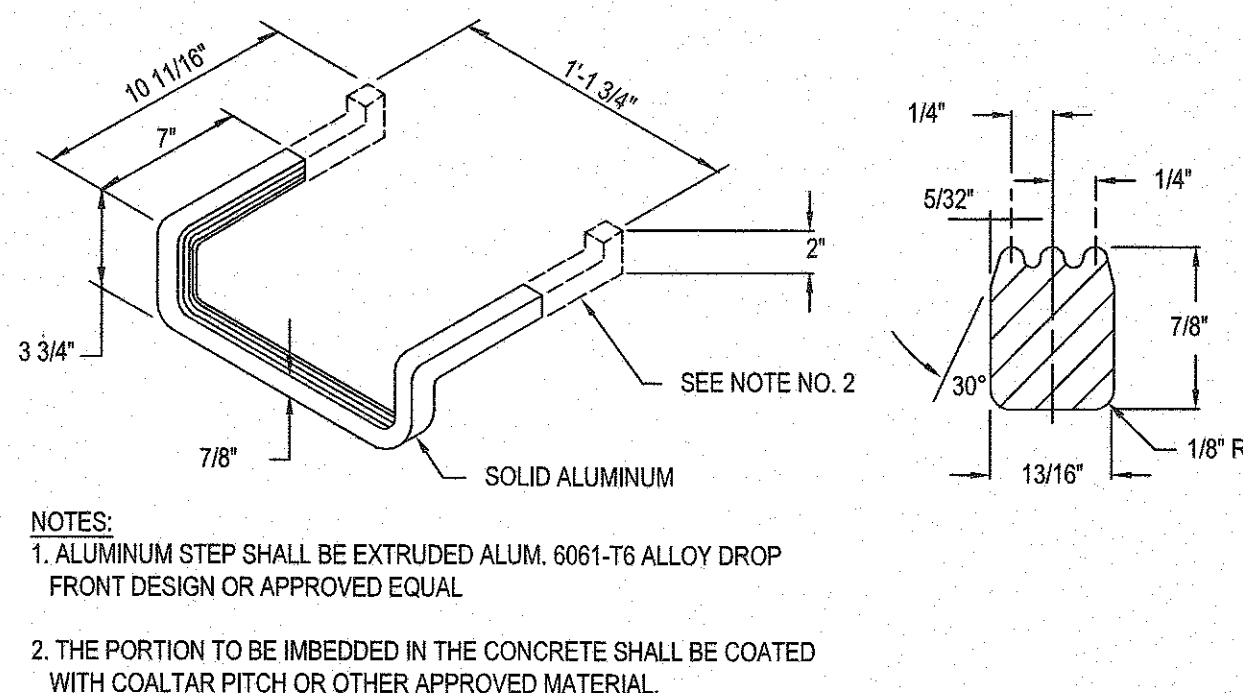
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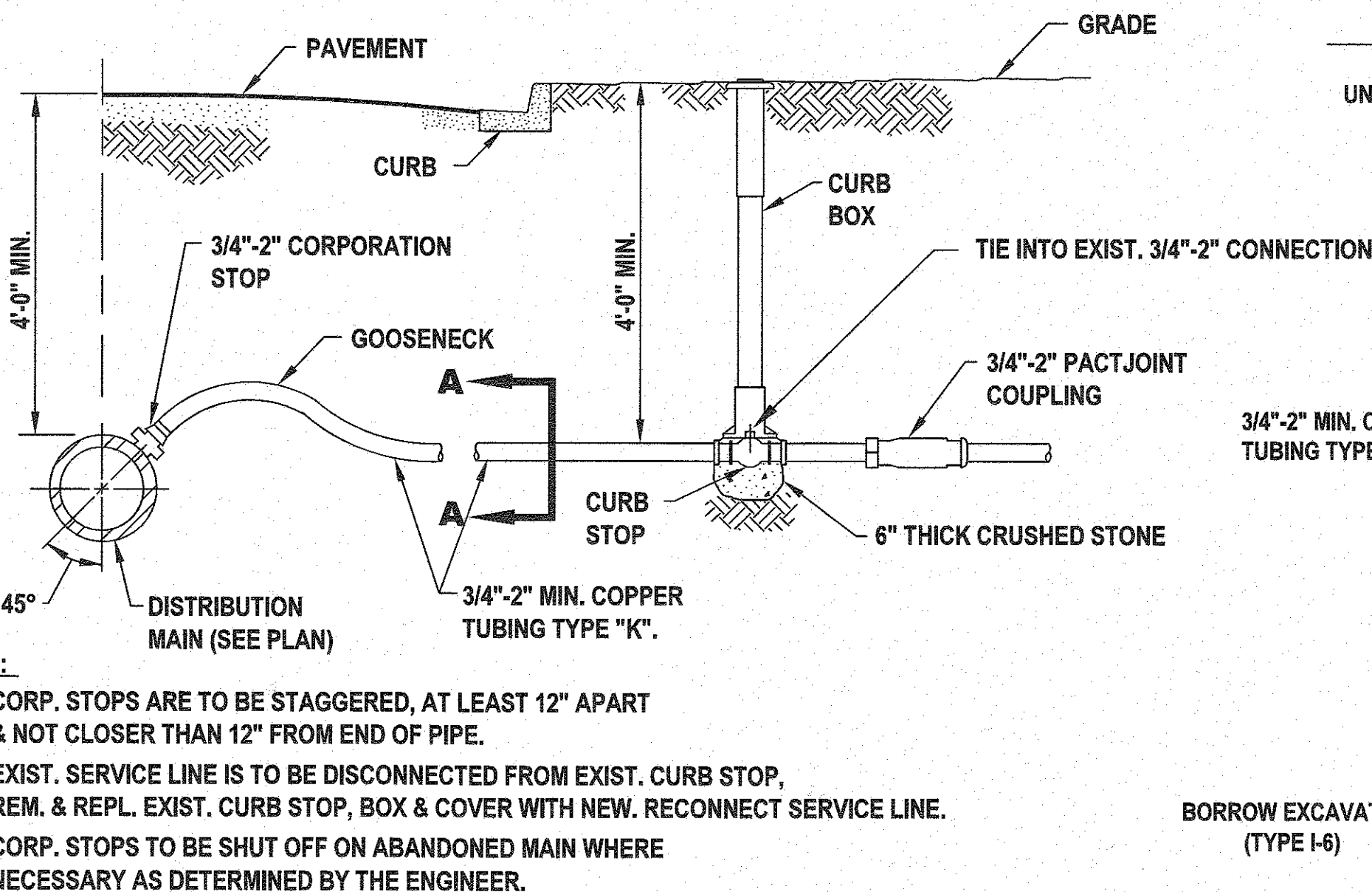
TYPE 'A' INLET DETAIL
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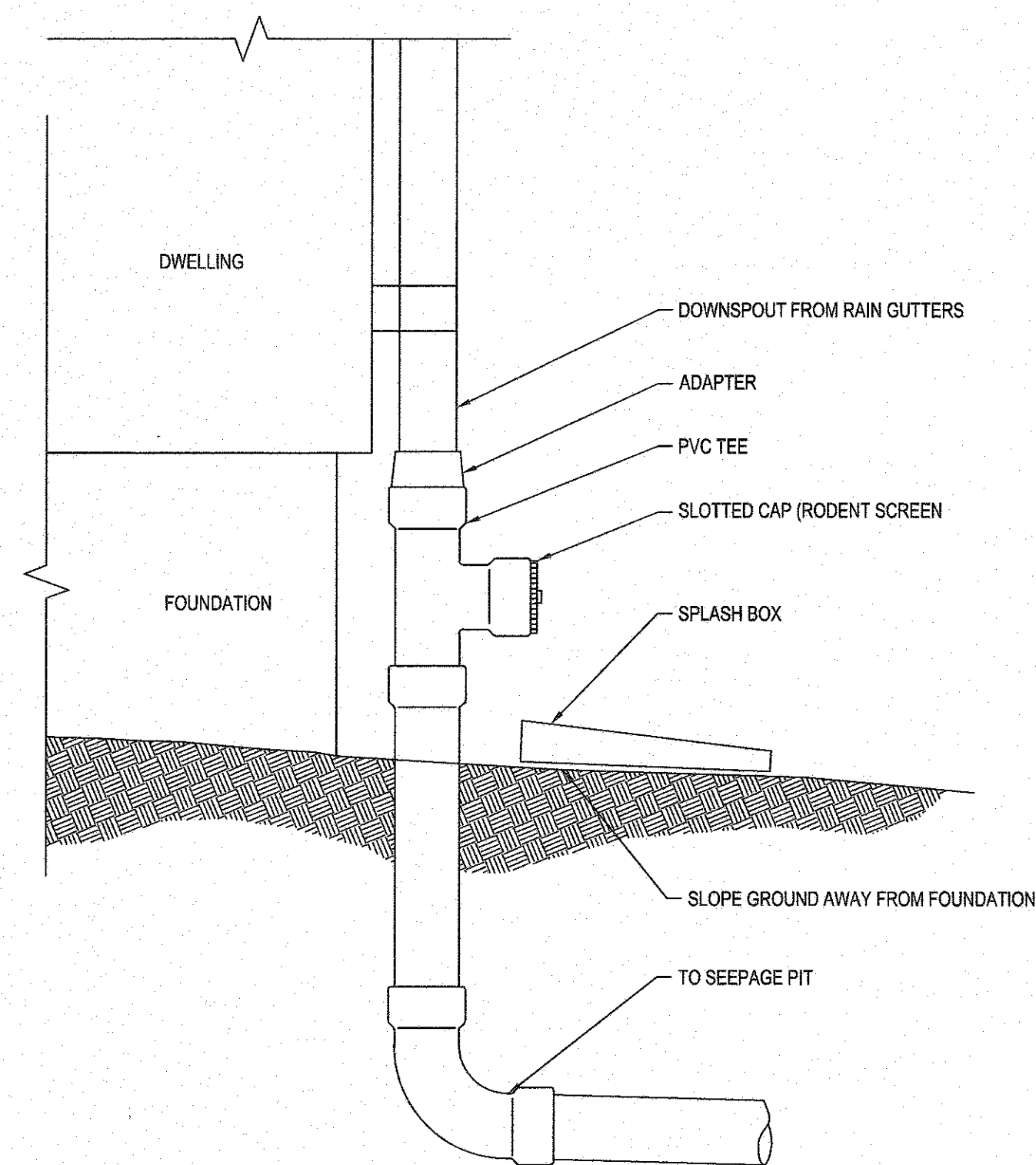
LOOPING WATER MAIN DETAIL
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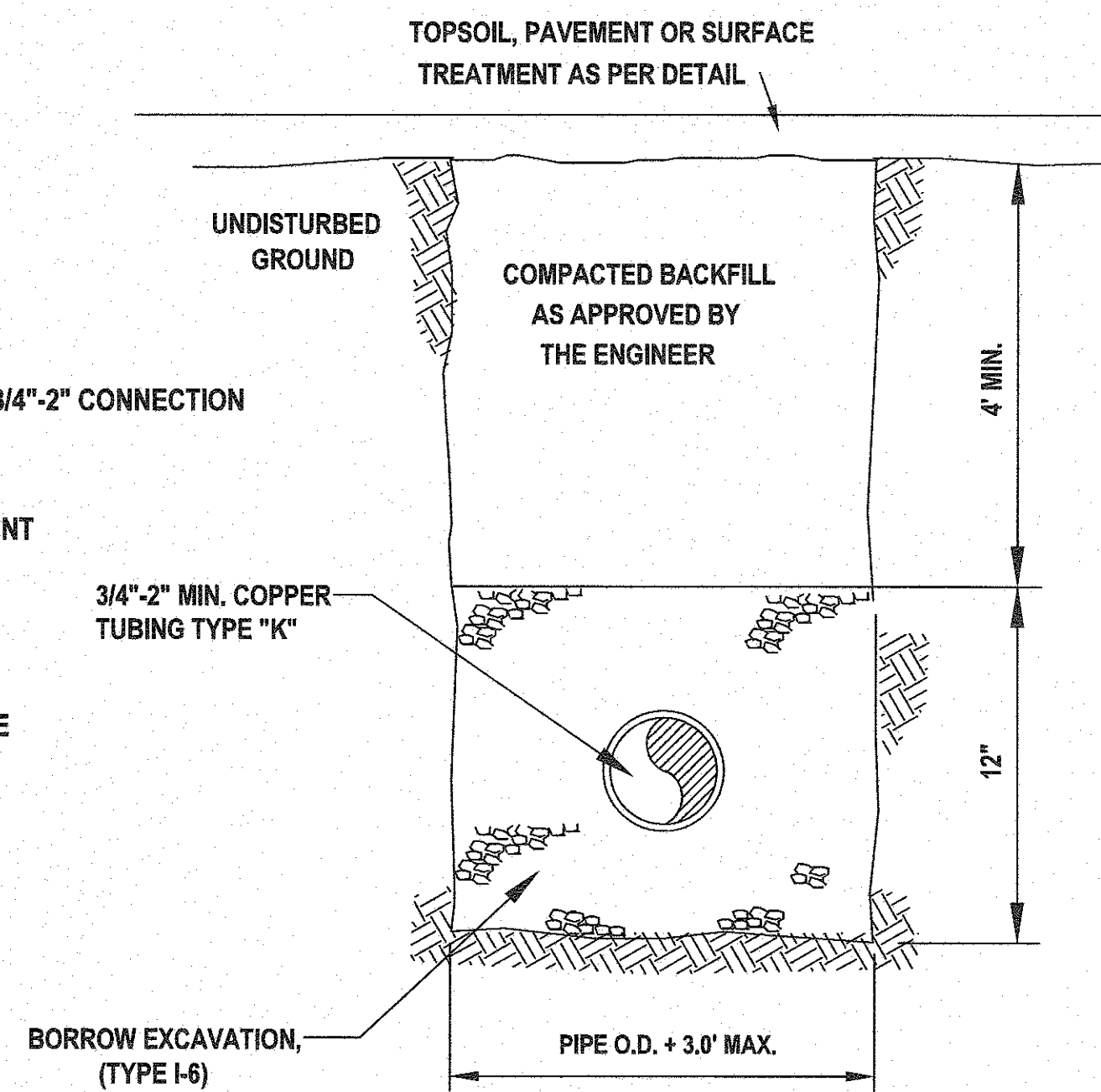
MANHOLE LADDER RUNGS
NOT TO SCALE



TYPICAL WATER SERVICE INSTALLATION DETAIL
NOT TO SCALE



DOWNSPOUT OVERFLOW DETAIL
NOT TO SCALE

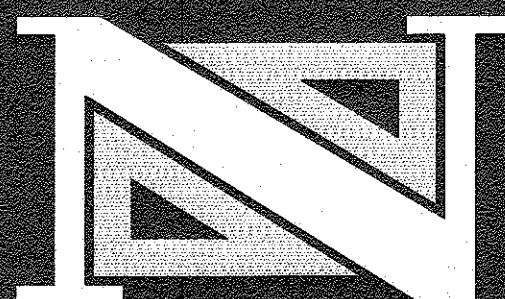


SECTION A-A

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REVISIONS				
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2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	DJ



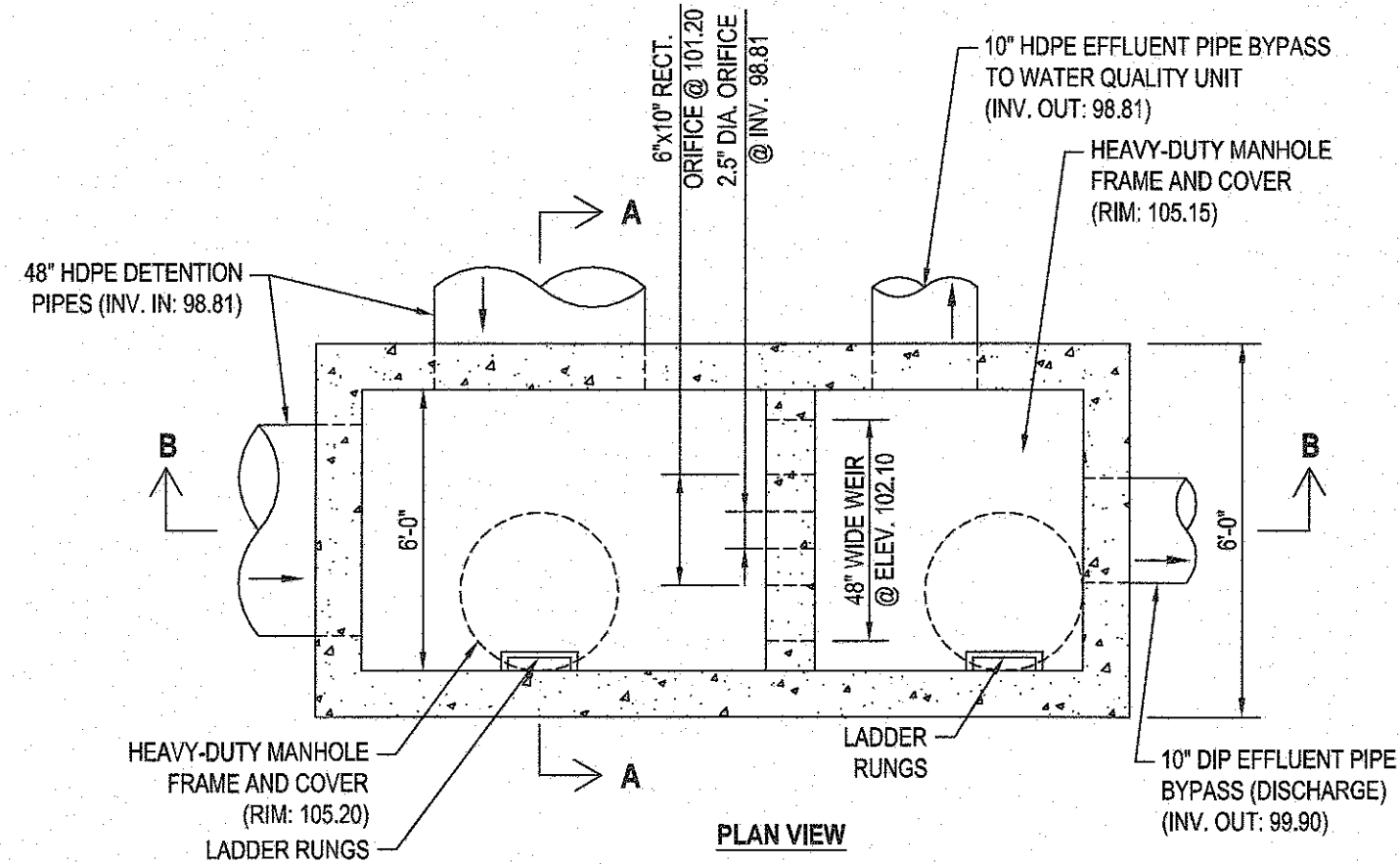
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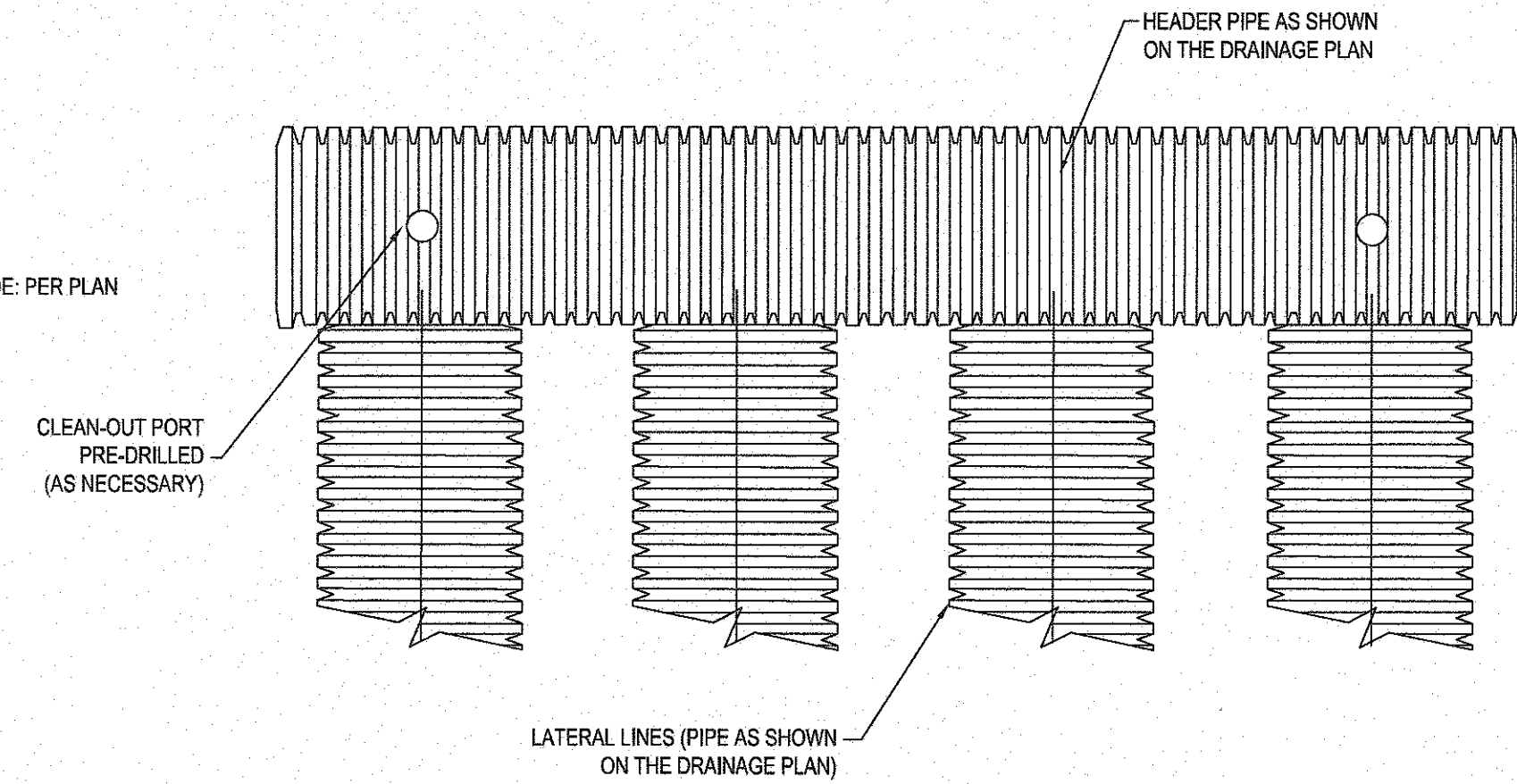
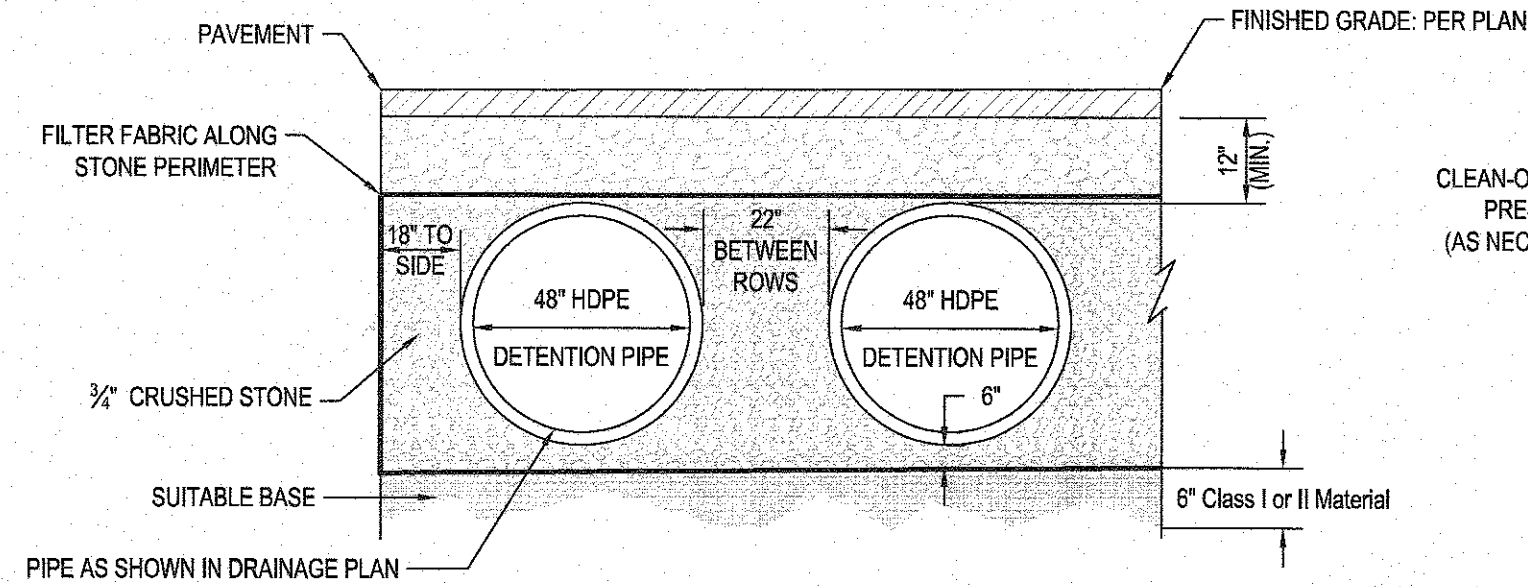
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CONSTRUCTION DETAILS
1280 TEANECK ROAD
TEANECK ROAD DEVELOPMENT
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK

BERGEN COUNTY
DESIGNED BY: J.M.L. CHECKED BY: D.J. PROJECT NO.: TEANPRV12.011 SHEET NO.: 8.04
FIELD REVIEW NO.: SCALE: N.T.S. DATE: NOVEMBER 26, 2013

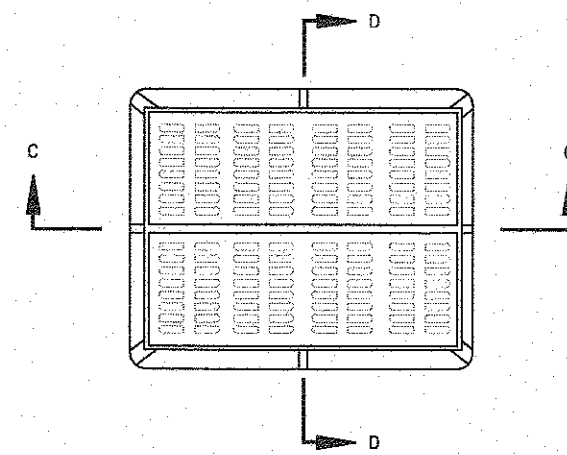
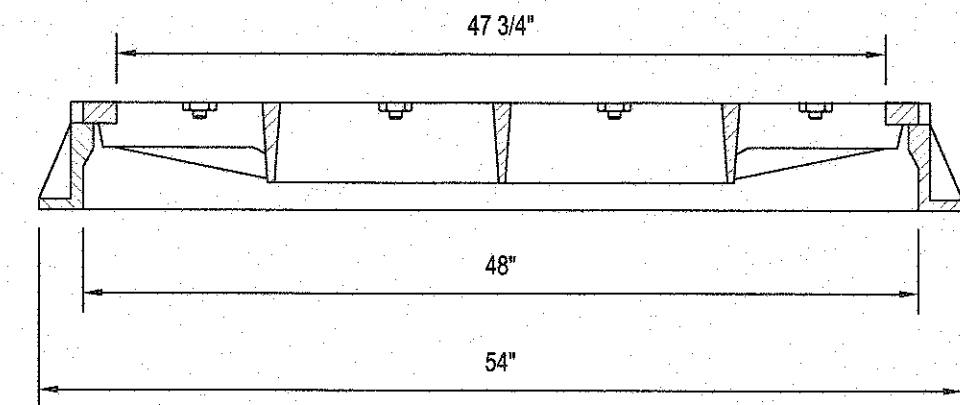
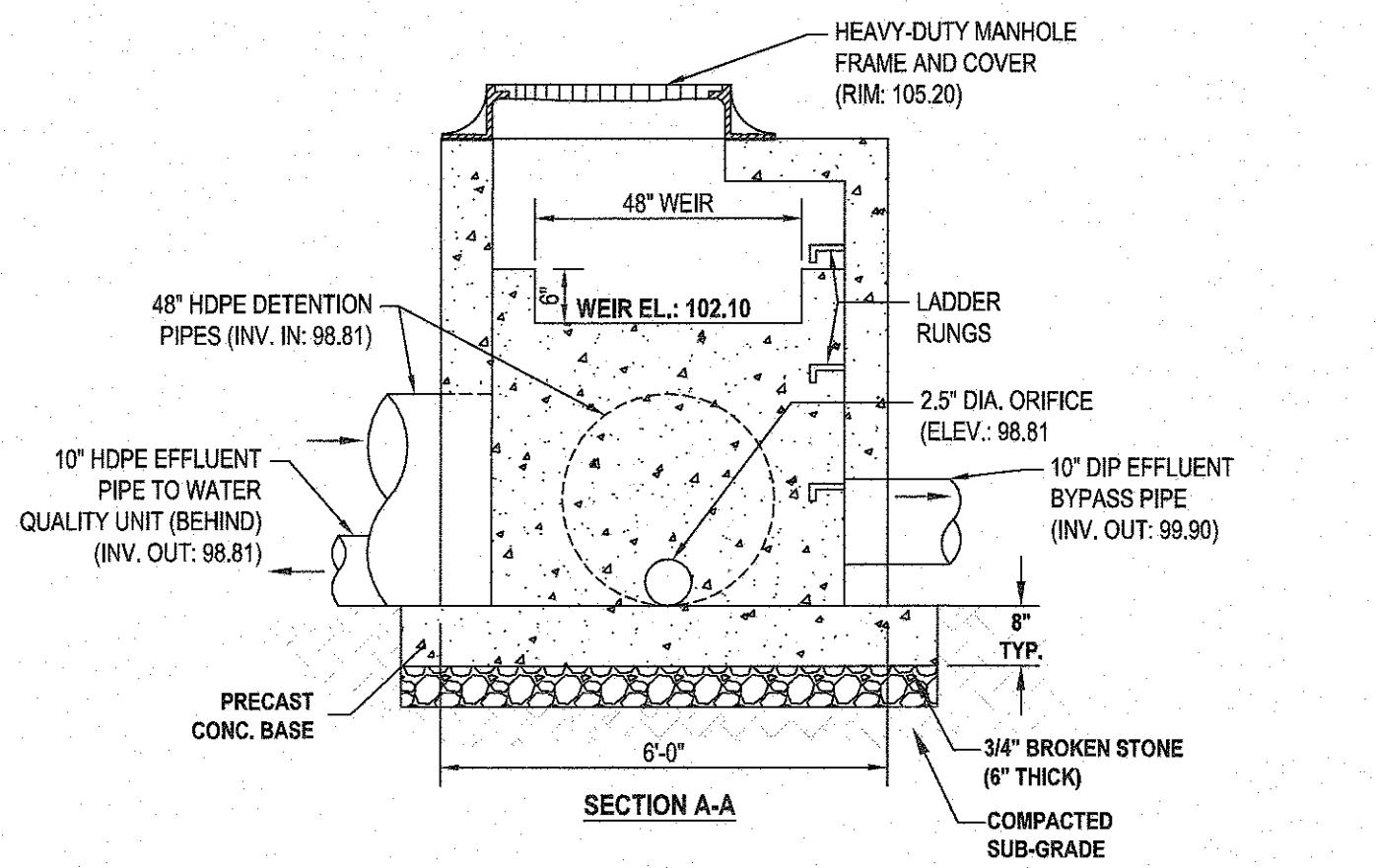


- NOTES:
1. DETENTION PIPING SHALL BE 48" (AS SHOWN ON THE DRAINAGE PLAN) NON-PERFORATED HDPE SURE-LOK OR APPROVED EQUAL WITH WATER-TIGHT JOINTS.
 2. DETENTION BASIN DETAILS SHOWN ARE SCHEMATIC ONLY. REFER TO DRAINAGE PLANS FOR BASIN CONFIGURATION, NUMBER OF HEADER PIPES, NUMBER OF LATERAL PIPES, AND INFLUENT AND EFFLUENT PIPE CONNECTIONS.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE DETENTION BASIN PRIOR TO FABRICATION OR CONSTRUCTION.
 4. DETENTION BASIN SHALL BE ADVANCED DRAINAGE SYSTEM (ADS) PRODUCTS, OR APPROVED EQUIVALENTS.



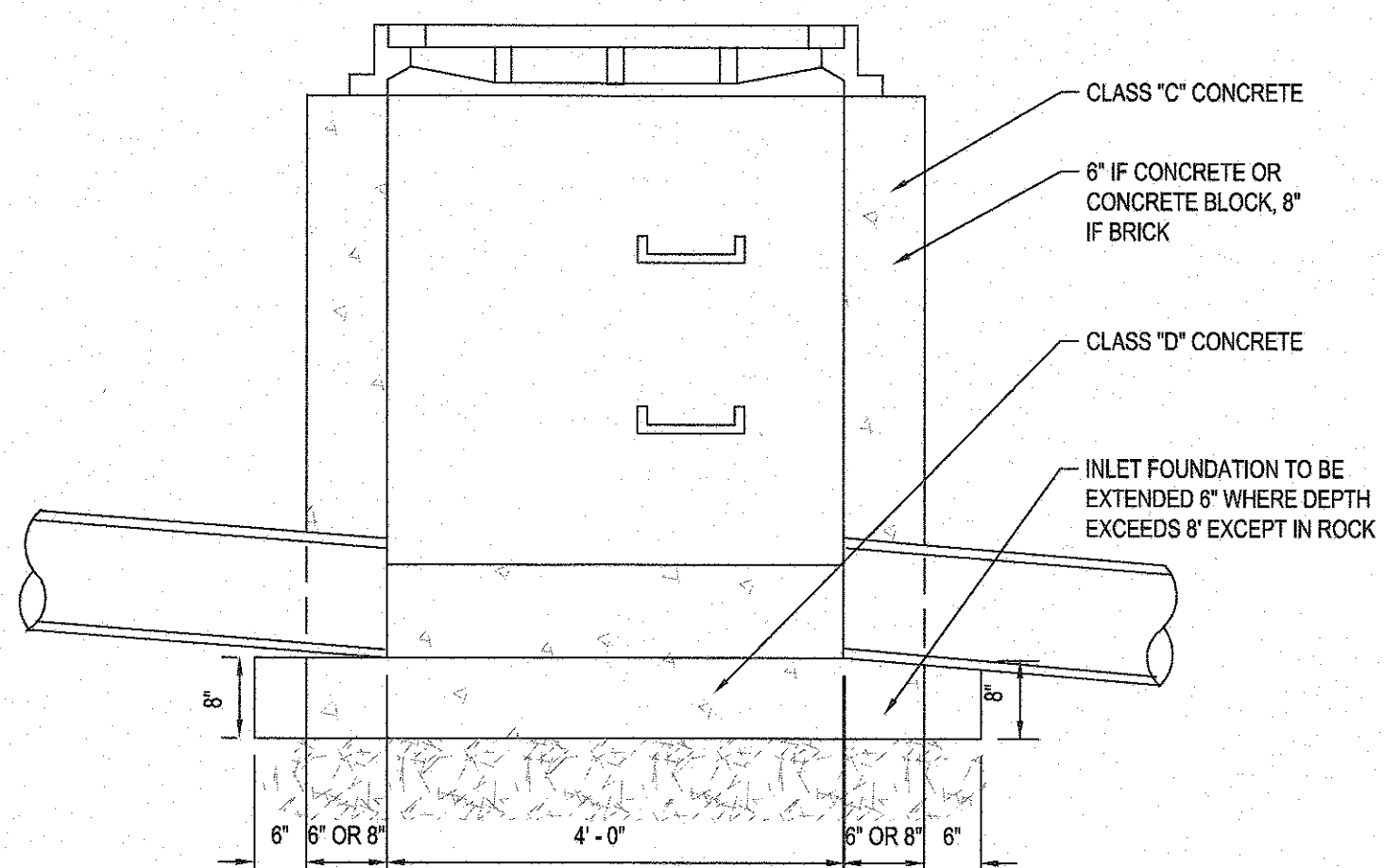
SUBSURFACE PIPE DETENTION BASIN

NOT TO SCALE



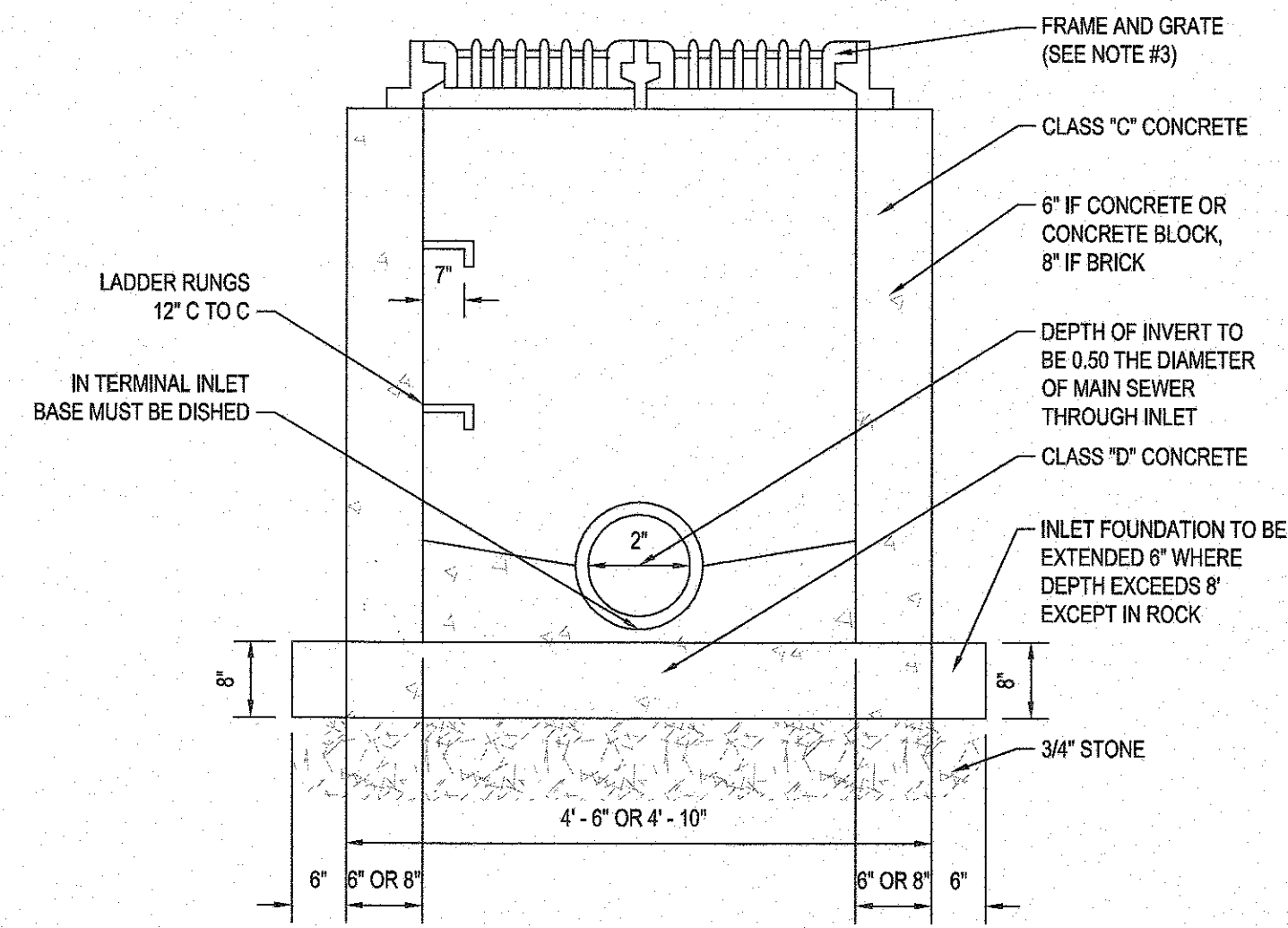
PLAN

- NOTES:
1. INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT A RATE OF GRADE OF 2 INCHES PER FOOT.
 2. THIS INLET MAY BE CONSTRUCTED OF BRICK, CONCRETE OR CONCRETE BLOCK. IF BRICK OR CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2\"/>

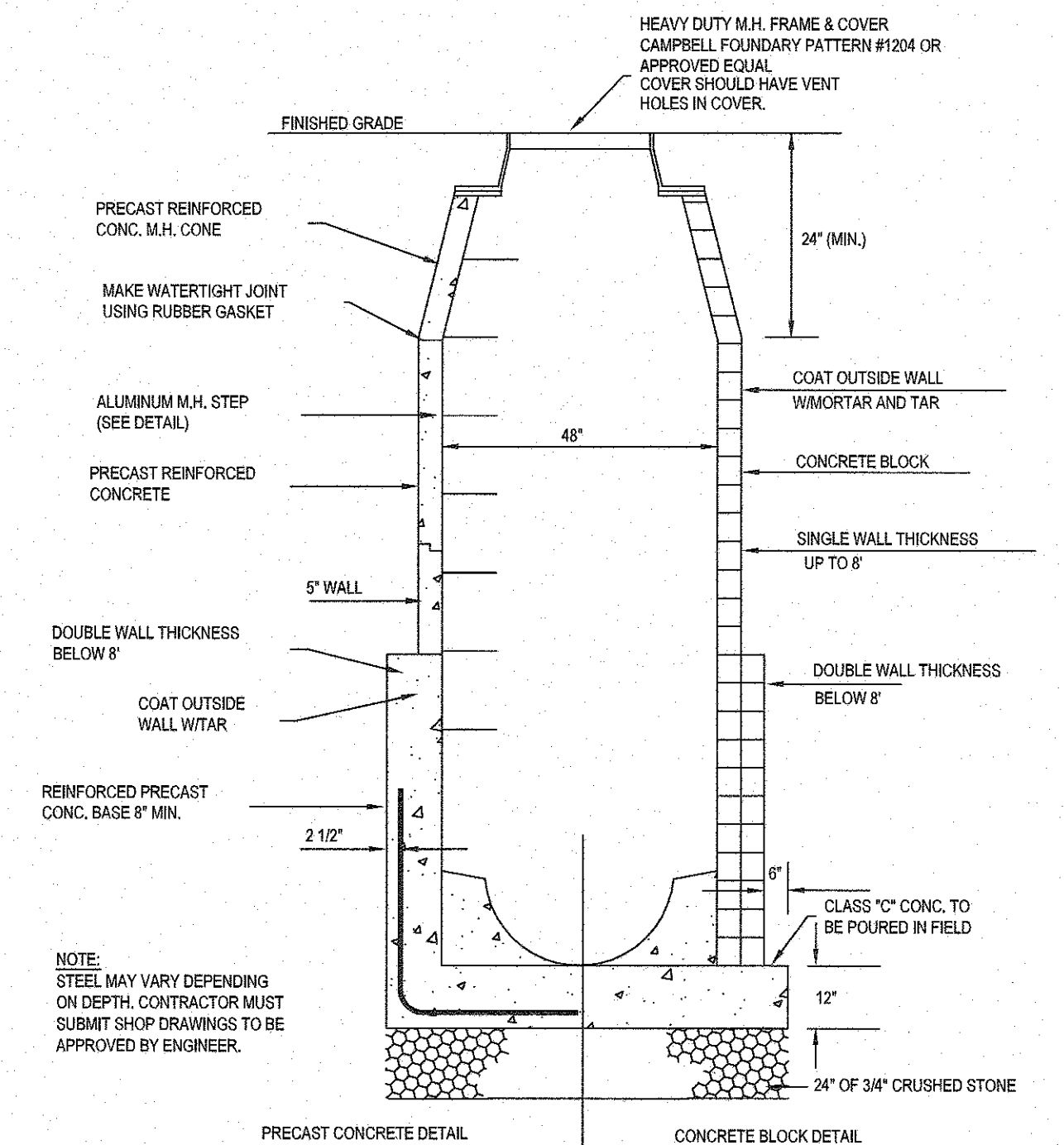


TYPE \"E\" INLET

NOT TO SCALE



SECTION D-D



STORM MANHOLE DETAIL

NOT TO SCALE

- NOTES:
1. THE OUTLET STRUCTURE SHALL BE PROVIDED WITH A TRASH RACK FOR THE 15-INCH DIAMETER ORIFICE; CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR SAID TRASH RACK PRIOR TO FABRICATION.
 2. OUTLET STRUCTURE SHALL BE PRECAST CONCRETE STRUCTURE OR CAST-IN-PLACE STRUCTURE AS SHOWN OR APPROVED EQUAL, CERTIFIED FOR HS-20 LOADING.
 3. SHOP DRAWINGS CERTIFIED BY LICENSED STRUCTURAL ENGINEER SHALL BE PROVIDED PRIOR TO FABRICATION.
 4. OUTLET CONTROL STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH NJDOT STANDARDS FOR CONCRETE STORM STRUCTURES.

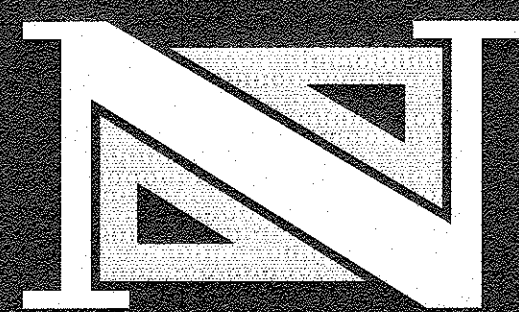
OUTLET CONTROL STRUCTURE-1 (OCS #1)

NOT TO SCALE

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CERTIFICATE OF AUTHORIZATION (N.J.S.A. 45:9-6) GA 270890

REVISIONS				
NO.	DATE	DESCRIPTION	DRAWN	CHECKED
1	03/04/16	REVISIONS PER ARCHITECTURAL CHANGES	DC	DC
2	07/18/17	REVISIONS PER COMMENTS FROM BOARD CONSULTANTS & BERGEN COUNTY	EMJ	EMJ



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7/18/17

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CONSTRUCTION DETAILS

1280 TEANECK ROAD
TEANECK ROAD DEVELOPMENT
BLOCK 4906 ~ LOT 21
TOWNSHIP OF TEANECK

BERGEN COUNTY

NEW JERSEY

DRAWN BY: J.M.L. CHECKED BY: D.J. PROJECT: TEANPRV12.011 SHEET NO.: 8.05
REVISIONS BY: J.M.L. SCALE: N.T.S. DATE: NOVEMBER 26, 2013
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